

Addendum No. 3
TO WILSONVILLE POLICE/PUBLIC WORKS SRGP
SEIMIC IMPROVEMENT PROJECT
CONTRACT DOCUMENTS, PROJECT PLANS AND SPECIFICATIONS

DATE: March 14, 2019

ADDRESSEE: PLAN HOLDERS

RE: REVISIONS TO CONTRACT DOCUMENTS, PROJECT
PLANS AND SPECIFICATIONS

Prior Addenda: 2

The following Addenda to the Contract Documents, Project Plans and Specifications shall be considered merged with the original bid package as if they were whole.

Add the following documents to the Contract Documents, Project Plans and Specifications.

1. **Bid Opening Date has been deferred to Wednesday, March 20, 2019 at 2 PM local time.**
This change will affect subsequent contract dates. The revised bid schedule is as follows:

Advertise Invitation to Bid	February 22, 2019
Optional Pre-Bid Meeting	March 8, 2019, 9:00 a.m.
Bid Question Submission Deadline	March 11, 2019, 5:00 p.m.
Addenda Issuance Deadline	March 15, 2019, 5:00 p.m.
Bid Opening (Wilsonville City Hall)	March 20, 2019 at 2:00 p.m.
Evaluation of Proposals Complete	March 22, 2019
Notice of Intent to Award	March 25, 2019
Award Protest Deadline	April 1, 2019, 5:00 p.m.
City Council Award Hearing	April 15, 2019, at 7:00 p.m.
Notice of Award	April 16, 2019

2. Per the request from the pre-bid meeting, photos of the roof and associates roof mounted assets have been provided. The attached photos indicate which direction they are facing and can be correlated to the drawings for identification of the various assets.



Figure 1: Photo from SW corner facing NE



Figure 2: Photo from SE corner facing NW



Figure 3: RTU-4



Figure 4: RTU-3



Figure 5: RTU-2



Figure 6: RTU-1



Figure 7: Existing Electrical Equipment

3. Modifications to plan sheets G-102, AD-201, AD-221, A-201 and A-221. Please see attached memorandum from the AOR and sheets for details.

Acknowledgement of receipt of this ADDENDUM within the bid submittal is required.

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ADDENDUM 03 TO CONTRACT DOCUMENTS FOR:

CITY OF WILSONVILLE
POLICE/PUBLIC WORKS BUILDING
SEISMIC IMPROVEMENTS

March 13, 2019

This ADDENDUM supersedes the original SPECIFICATIONS and DRAWINGS; dated February 8, 2019, wherein it contradicts them; all other conditions remain unchanged.

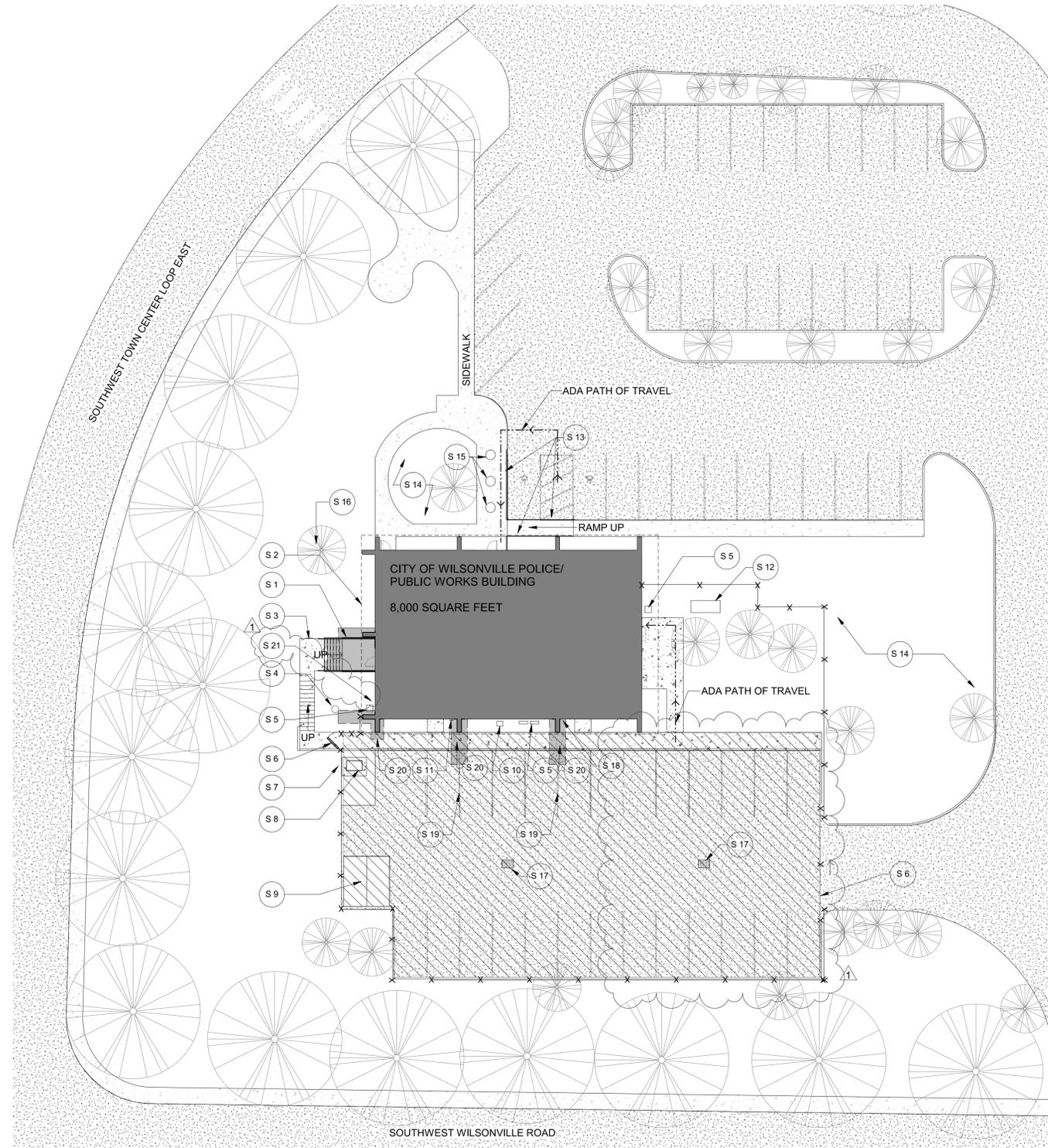
Prior Addenda:
ADDENDUM 1 & 2

Acknowledgement of receipt of this ADDENDUM is required.

1. MODIFICATIONS TO DRAWINGS:

1. Sheet G-102 – Revise keynote #10.
2. Sheet G-102 – Revise construction staging area.
3. Sheet G-102 – Add keynote #21.
4. Sheet AD-201 – Revise sheet notes.
5. Sheet AD-201 – Add keynote #13.
6. Sheet AD-221 – Revise keynote #1.
7. Sheet A-201 – Add keynote #6.
8. Sheet A-201 – Revise sheet notes.
9. Sheet A-201 – Revise detail callout tag at west façade.
10. Sheet A-221 – Revise keynote #7.
11. Sheet A-221 – Revise keynote #8.
12. Sheet A-221 – Revise keynote #12.
13. Sheet A-221 – Add keynote #13.
14. Sheet A-221 – Relocate existing roof mounted electrical panel.

END OF ADDENDUM 03



1 SITE PLAN
1" = 20'-0"

SITE PLAN SHEET NOTES

- A. Contractor is responsible for all waste diversion and removal per contract document standards as well as site clean up during performance of and at completion of the work.
- B. Contractor shall take proper measures to protect areas outside of areas of work.
- C. All sidewalks surrounding the project site are to be protected during demolition.
- D. Contractor to provide staging plan for owner's approval prior to proceeding.
- E. Contractor to verify all utility and storm drain locations prior to work. Contractor to coordinate removal and replacement of foundation drains per Geotechnical Report requirements.
- F. Site dimensions are approximate. Contractor to field verify lot lines and elevations prior to construction.
- G. Contractor to coordinate location and size of conduit for communication utility with Owner prior to starting work.
- H. Wireless access and the Murase Park cameras located at the back parking lot need to be preserved.
- I. The City of Wilsonville fiber accesses building through SW corner of property.
- J. Telemetry/SCADA wiring shall remain intact and service preserved.

SITE PLAN LEGEND

- EXISTING ASPHALT
- EXISTING CONCRETE / SIDEWALK
- PROPOSED CONSTRUCTION STAGING AREA. CONTRACTOR TO COORDINATE WITH OWNER AND PROVIDE A STAGING AREA PLAN.
- NEW FOUNDATIONS, REPAIR AND MATCH EXISTING CONCRETE SIDEWALKS, CURBS, AND ASPHALT TO MATCH SLOPE AND ELEVATION OF EXISTING CONDITIONS. REPLACE LANDSCAPING TO MATCH EXISTING WHERE REQUIRED.

KEYNOTES

- 1 New stair to replace existing.
- 2 Roof line shown dashed.
- 3 Existing concrete landing and stair to remain. Existing metal railing to remain.
- 4 Tree to be removed by Owner prior to construction. Contractor to mitigate root system.
- 5 Existing HVAC Equipment to remain
- 6 Existing security fence gate
- 7 Existing security fence
- 8 Existing transformer
- 9 Existing storage container
- 10 Existing Gas Meter to be seismically improved per ASCE/SEI 41-13 Tier 1- Immediate Occupancy Standards.
- 11 Electrical Meter
- 12 Existing Emergency Generator
- 13 Existing Railing
- 14 Existing Lawn and Landscaping
- 15 Existing Planter
- 16 Protect existing tree, typ.
- 17 Existing storm drain. Contractor to follow erosion control plan during construction.
- 18 Coordinate new communication utility sleeve location in new foundation work with Owner prior to construction.
- 19 Patch and repair existing asphalt effected by new seismic improvements to match existing conditions. Refer to City of Wilsonville Public Works Standards for asphalt restoration requirements. Re-stripe parking areas effected by seismic improvements, typ.
- 20 Patch and repair sidewalks and curb effected by seismic improvements to match existing conditions, typ. Refer to City of Wilsonville Public Works Standards for concrete replacement requirements.
- 21 Existing underground fiber line at southwest corner of building. Contractor to locate and identify fiber line prior to construction. Fiber line to remain operational during construction.



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Police/Public Works Building
SRGP

PERMIT/ BID SET



Date: 2/8/2019
Project Number: 80053
Drawn By: AH/CC
Checked By: CSM

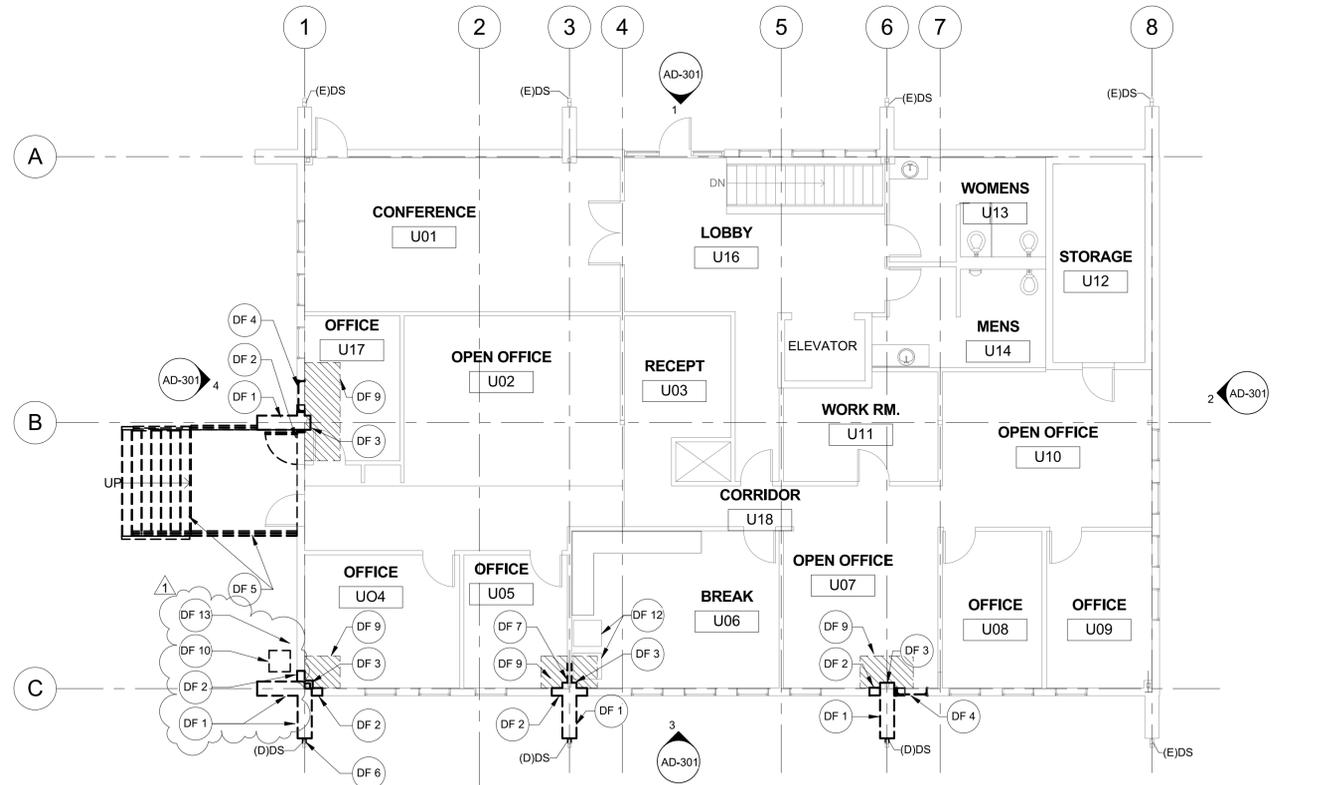
Revision Schedule:
1 ADD. NO. 3 3/13/19

Sheet Title:
SITE PLAN

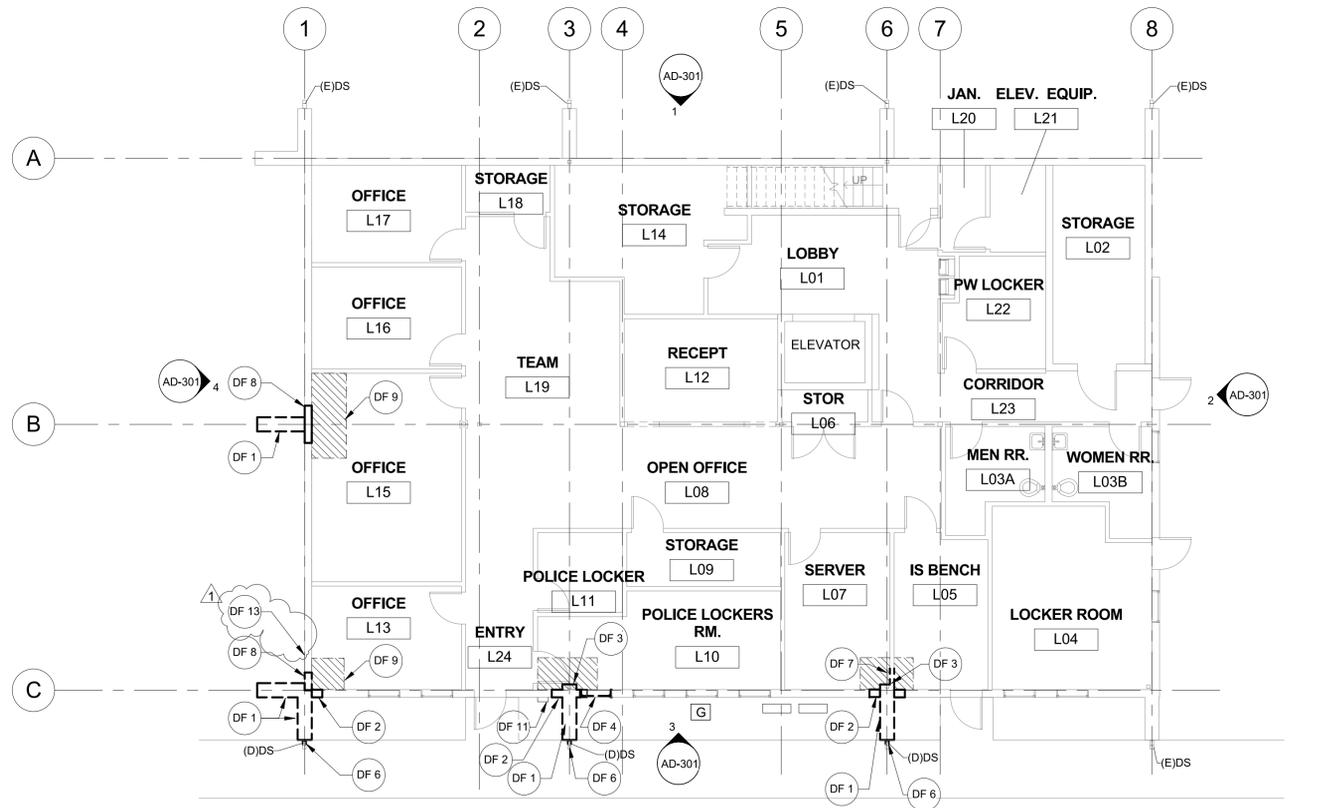
Sheet Number:

G-102

PERMIT/ BID SET



1 MAIN LEVEL DEMOLITION FLOOR PLAN
1/8" = 1'-0"



2 LOWER LEVEL DEMOLITION PLAN
1/8" = 1'-0"

DEMOLITION SHEET NOTES

- A. All dimensions shown are to face of finish U.N.O. Do not measure drawings to determine dimensions. Large scale details take precedence over smaller scale drawings.
- B. Verify limits of demolition prior to commencing work.
- C. All dimensions to be field verified.
- D. For additional demolition information, see all consultant's drawings.
- E. Locate and verify existence and use of existing utilities. Take necessary measures to protect and preserve function and condition of any utilities to be repaired, replaced, or reused in new construction. Coordinate work with Architect, Consultants and Owner.
- F. Coordinate with owner the removal and storage of casework, moveable partitions, and office equipment for access of area of work. Protect all remaining casework, furniture, and equipment during construction.
- G. Contractor shall be solely responsible for the design and construction of all shoring and bracing required for construction of the Work. Contractor shall not store construction materials or equipment in a manner such that the design live loads of the structure are exceeded.
- H. Contractor to inform Architect of any discrepancies within the drawings or between drawings and field conditions before commencement of affected work.
- I. Where the interruption of the building's Life Safety System is required to perform the work as described in the construction documents, or to coordinate with owner's operations, the Contractor shall provide interim Life Safety measures to comply with local code and owner's requirements.
- J. Furniture and casework is not shown. Detach, remove and salvage all casework and office furniture to provide access to area of work. Store and protect all casework and equipment per direction of Owner. Reinstall equipment and casework to original placement and condition after seismic improvements and finishes are complete per direction of Owner.
- K. City of Wilsonville Police shall have 24-hour access to Property Room in Police Office area.
- L. The Server Room shall be protected from dust.
- M. The City of Wilsonville requires one week notice of days and times the Server Room will be shut down.
- N. Telemetry/SCADA wiring in the building shall be preserved at all times.
- O. Wireless access and the Murase Park cameras at rear parking lot to be preserved.

DEMO PLAN LEGEND

- EXISTING TO REMAIN
- EXISTING TO BE DEMOLISHED FOR SEISMIC IMPROVEMENTS
- AREA OF FINISH FLOOR REMOVAL
- (D) DS DEMOLISHED DOWNSPOUT
- (E) DS EXISTING DOWNSPOUT TO REMAIN

KEYNOTES

- 1 Demolish existing masonry pier.
- 2 Demolish existing exterior finish and framing to provide access to area of work for new concrete pier.
- 3 Demolish interior furring to provide access to area or work for seismic improvements per structural.
- 4 Remove and salvage existing window to provide access to area of work for seismic improvements and reinstall window.
- 5 Demolish existing stair, landing and railing.
- 6 Demolish existing downspout.
- 7 Demolish partition wall to provide access to area of work for seismic improvements.
- 8 Demolish existing exterior concrete wall as required to provide access to area of work for seismic improvements per structural.
- 9 Remove carpet in area of work to allow for access to area of work. Salvage and protect existing carpet for reinstallation. Protect remaining carpet from damage during construction.
- 10 Remove, salvage and store existing HVAC equipment for reinstallation. Demolish mechanical equipment pad to provide access to area of work.
- 11 Existing electrical meter. Field verify location. Remove and reinstall if it conflicts with area of work.
- 12 Remove and store equipment for reinstallation per direction of owner.
- 13 Existing underground fiber line at southwest corner of building. Contractor to locate and identify fiber line prior to construction. Fiber line to remain operational during construction.



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PERMIT/ BID SET

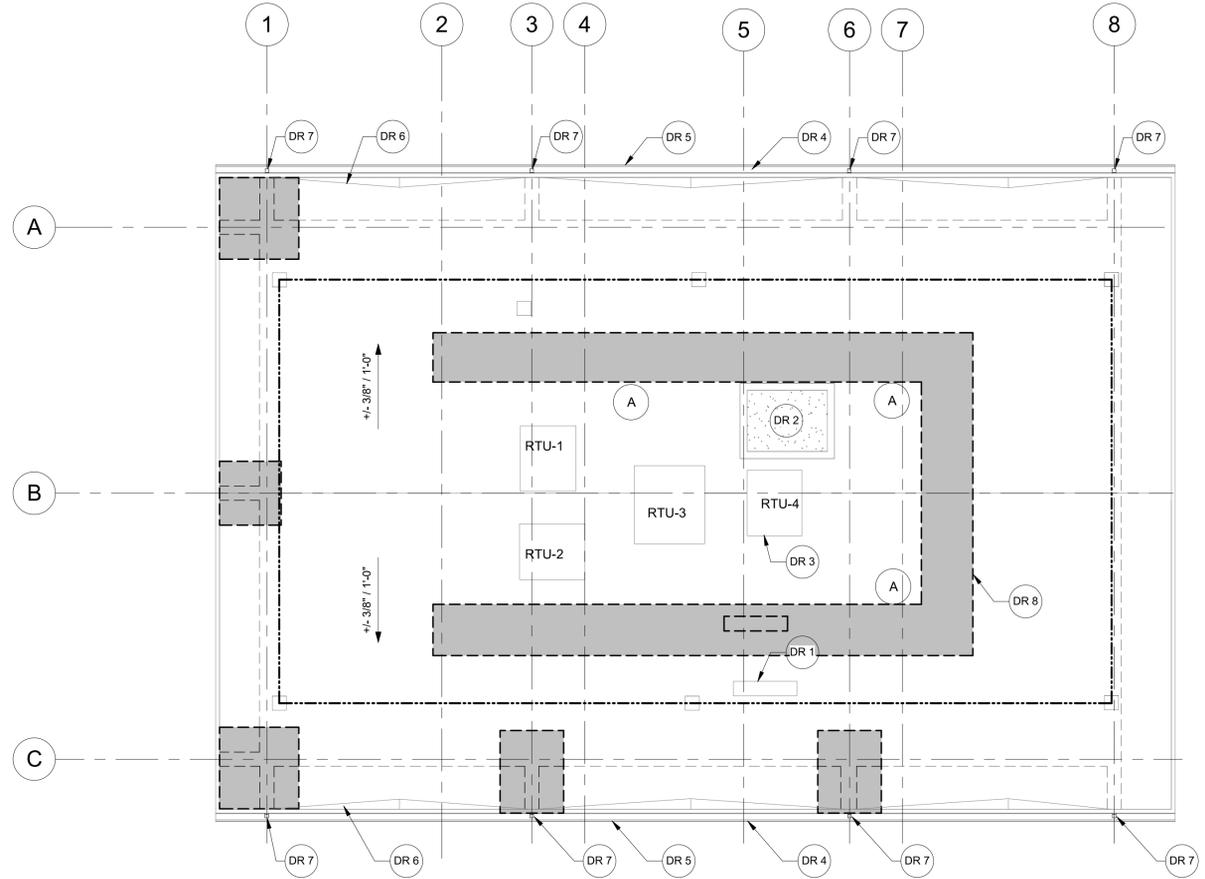


Date: 2/8/2019
Project Number: 80053
Drawn By: AH
Checked By: CSM / DF

Revision Schedule:
1 ADD. NO. 3 3/13/19

Sheet Title:
DEMOLITION FLOOR PLANS

Sheet Number:
AD-201
PERMIT/ BID SET



1 DEMOLITION ROOF PLAN
1/8" = 1'-0"

ROOF PLAN SHEET NOTES

1. General Contractor to field verify the location, quantity and size of HVAC equipment.
2. General Contractor to field verify location of fall protection and reinstall per manufacturer's installation instruction.
3. Slopes of new roofing system to match existing. Minimum of 1/4" - 1'-0" slope.
4. Seismically brace all antennae, mechanical, and electrical equipment that is not anchored to the roof deck per deferred submittal.

DEMOLITION ROOF PLAN LEGEND

- REMOVE EXISTING ROOFING AS REQUIRED FOR SEISMIC IMPROVEMENTS
- EXISTING WALL BELOW
- EXISTING FALL PROTECTION ANCHOR TO REMAIN
- EXISTING FALL PROTECTION CABLE TO REMAIN
- EXISTING ANTENNA
- ROOF SLOPE
- EXISTING ROOF TOP MECHANICAL UNIT. FIELD VERIFY LOCATON AND DIMENSIONS.

KEYNOTES

- 1 Existing electrical panel to be relocated.
- 2 Existing elevator shaft.
- 3 Existing roof top mechanical equipment to remain, typical.
- 4 Existing continuous gutter to remain.
- 5 Existing parapet.
- 6 Existing cricket.
- 7 Existing downspout location. Refer to elevations and plans for downspouts affected by seismic improvements.
- 8 Remove (E) roofing as required to install blocking per structural.



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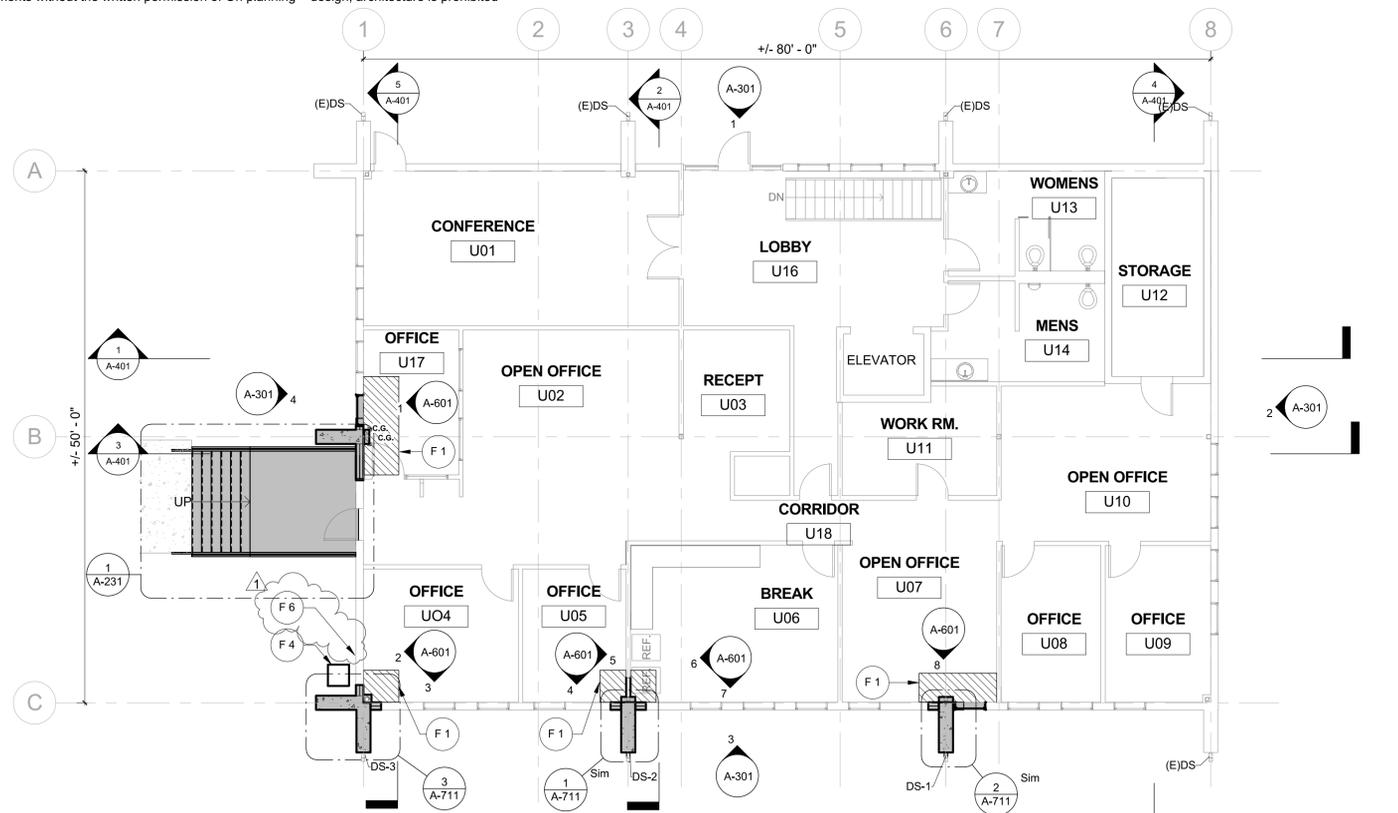
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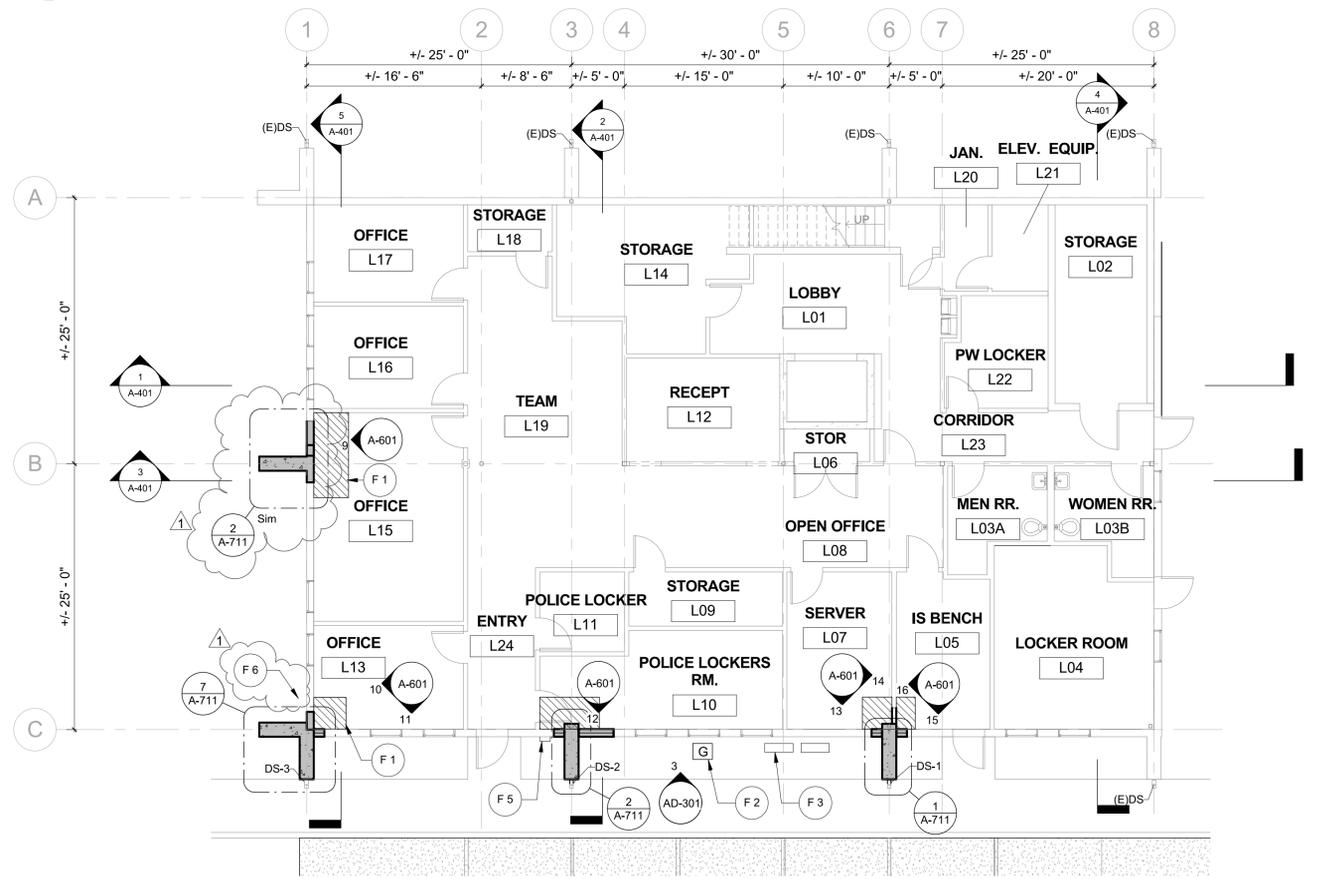
Sheet Title:
DEMOLITION ROOF PLAN

Sheet Number:
AD-221

PERMIT/ BID SET



1 MAIN LEVEL FLOOR PLAN
1/8" = 1'-0"



2 LOWER LEVEL FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN SHEET NOTES

- A. Grid dimensions are shown per the Owner sourced As-Built documents. Field verify all grid dimensions.
- B. All dimensions are to gridlines or face of finish, U.N.O.
- C. All dimensions to be field verified.
- D. Refer to A-311 for information of flooring, base and wall finishes.
- E. Reinstall casework, furniture, moveable partitions, and equipment per direction of owner.
- F. Contractor shall repair or replace any existing construction to remain that is damaged in the course of work to original condition.
- G. Where the interruption of the building's Life Safety System is required to perform the work as described in the construction documents, or to coordinate with owner's operations, the Contractor shall provide interim Life Safety measures to comply with local code and owner's requirements.
- H. Contractor to coordinate installation and scheduling of Owner or Owner's vendor provided or installed fixtures and equipment.
- I. Contractor shall be solely responsible for the design and construction of all shoring and bracing required for construction of the Work. Contractor shall not store construction materials or equipment in a manner such that the design live loads of the structure are exceeded.
- J. See deferred submittal for restraint requirements to fall prone equipment, casework, cabinets, partitions and shelving.
- K. Contractor to inform Architect of any discrepancies within the drawings or between drawings and field conditions before commencement of affected work.
- L. Locate and verify existence and use of existing utilities. Take necessary measures to protect and preserve function and condition of any utilities to be repaired, replaced, or reused in new construction and during construction. Coordinate work with Architect, Engineering Consultants, and Owner.
- M. See Interior Elevations and Finish Plans for additional information on finishes.
- N. City of Wilsonville Police shall have 24-hour access to Property Room in Police Office area.
- O. The Server Room shall be protected from dust.
- P. The City of Wilsonville requires one week notice of days and times the Server Room will be shut down.
- Q. Telemetry/SCADA wiring in the building shall be preserved at all times.
- R. Wireless access and the Murase Park cameras at rear parking lot to be preserved.

FLOOR PLAN LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN
- NEW CONCRETE PIER PER STRUCTURAL FOR SEISMIC IMPROVEMENTS
- AREA OF WORK FOR NEW CONSTRUCTION FOR SEISMIC IMPROVEMENTS
- AREA OF FLOORING TO BE PATCHED OR REPAIRED
- c.a. STAINLESS STEEL CORNER GUARDS TO MATCH EXISTING FINISH AND ATTACHMENT OF EXISTING CORNER GUARDS, TYPICAL AT ALL NEW WALLS AND FURRING WITH EXPOSED PROTRUDING CORNERS.

KEYNOTES

- 1 Reinstall salvaged carpet in area of work. Contractor to repair and patch any damage that occurred during construction or demolition.
- 2 Existing Gas Meter to be seismically improved per structural.
- 3 Existing HVAC Equipment to remain
- 4 Reinstall existing mechanical unit. Provide concrete pad and anchorage as required.
- 5 Existing electrical meter. Field verify location.
- 6 Existing underground fiber line at southwest corner of building. Contractor to locate and identify fiber line prior to construction. Fiber line to remain operational during construction.



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PERMIT/ BID SET

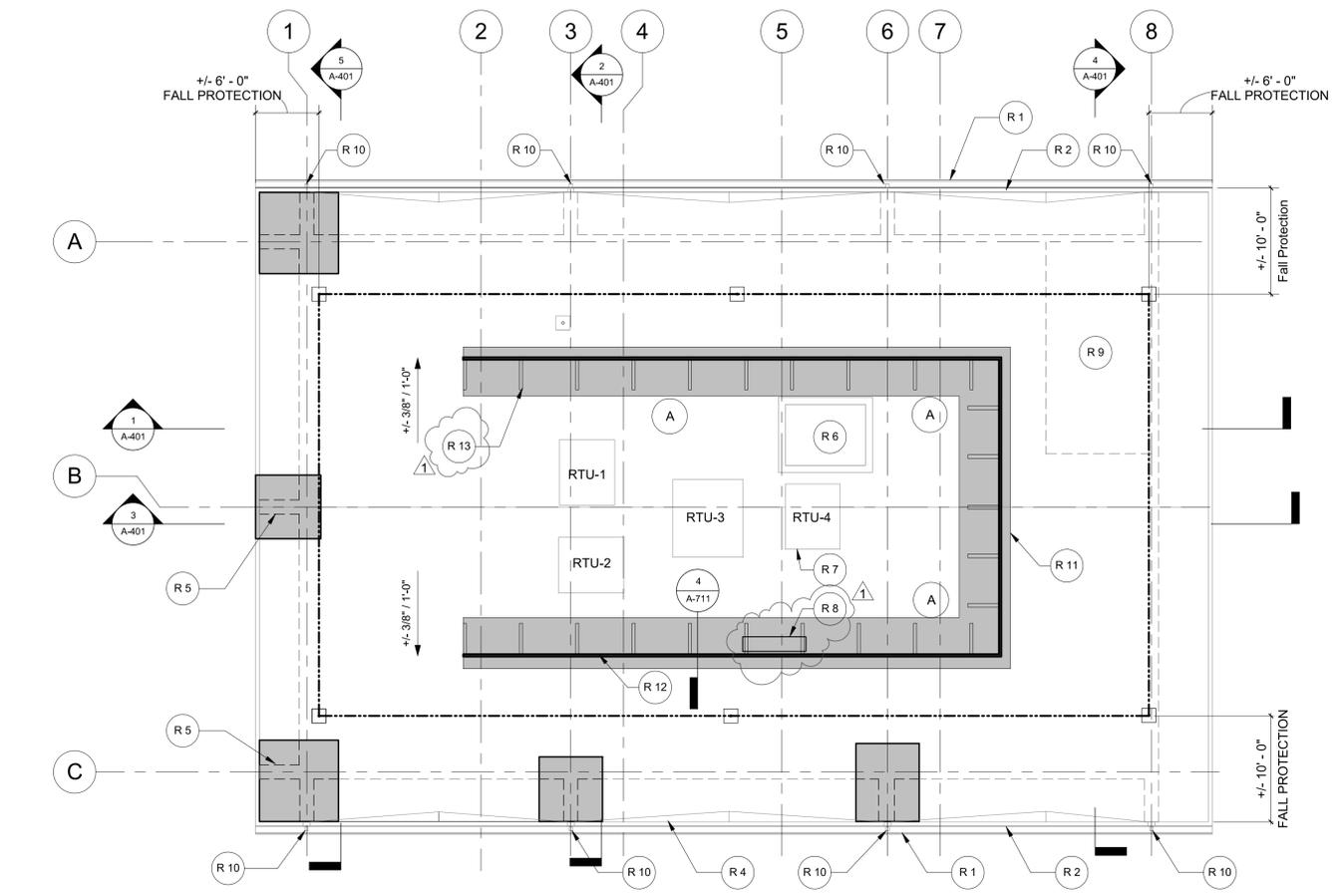


Date: 2/8/2019
Project Number: 80053
Drawn By: AH
Checked By: CSM

Revision Schedule:
1 ADD. NO. 3 3/13/19

Sheet Title:
FLOOR PLANS

Sheet Number:
A-201
PERMIT/ BID SET



1 ROOF PLAN
1/8" = 1'-0"

ROOF PLAN SHEET NOTES

1. General Contractor to field verify the location, quantity and size of HVAC equipment.
2. General Contractor to field verify location of fall protection and reinstall per manufacturer's installation instruction.
3. Slopes of new roofing system to match existing. Minimum of 1/4" - 1'-0" slope.
4. Seismically brace all antennae, mechanical, and electrical equipment that is not anchored to the roof deck per deferred submittal.

ROOF PLAN LEGEND

- NEW ROOFING AS REQUIRED FOR SEISMIC IMPROVEMENTS
- EXISTING WALL BELOW
- EXISTING FALL PROTECTION ANCHOR TO REMAIN
- EXISTING FALL PROTECTION CABLE TO REMAIN
- ANTENNA. SEISMICALLY BRACE PER DEFERRED SUBMITTAL.
- SLOPE
- EXISTING ROOF TOP MECHANICAL UNIT. FIELD VERIFY LOCATON AND DIMENSIONS.

KEYNOTES

- 1 Existing continuous gutter to remain.
- 2 Existing parapet to remain.
- 4 Patch and repair existing cricket to match existing, typical. Minimum slope 1/4" per 1'-0".
- 5 Temporary shoring for existing trusses required during construction of new concrete pier per structural.
- 6 Existing elevator shaft.
- 7 Existing roof top mechanical unit to remain, typical. Contractor to confirm all existing RTU are seismically anchored to structure as specified.
- 8 Existing electrical equipment to be relocated. Mount electrical panel to HSS ports, per Structural. Maintain required clearances at electrical panel and RTU. Coordinate location with Owner.
- 9 Extents of vault below shown dashed.
- 10 Existing downspout location. Refer to elevations and plans for downspouts affected by seismic improvements.
- 11 Patch with TPO. Contractor to coordinate new material with existing. Overlap seams and seal per manufacturer's instructions.
- 12 New Mechanical Screen. See structural roof framing plan for placement of supports.
- 13 Kicker per structural, typ



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Revision Schedule:
1 ADD. NO. 3 3/13/19

Sheet Title:
ROOF PLAN

Sheet Number:
A-221

PERMIT/ BID SET