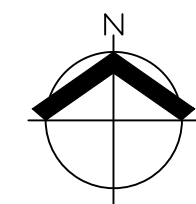
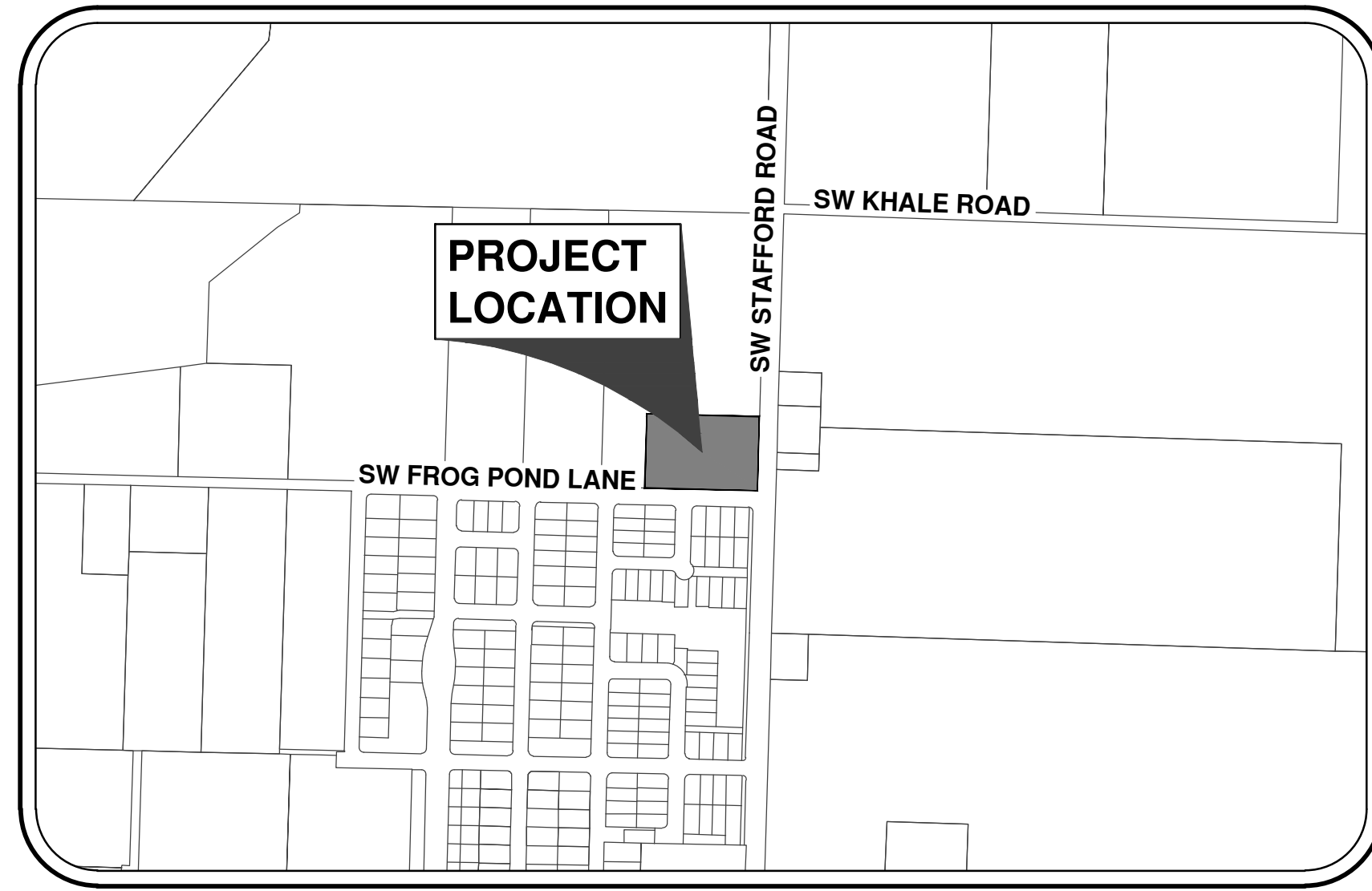


PETRAS HOMES SUBDIVISION

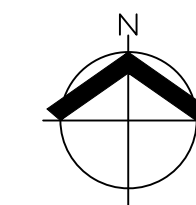
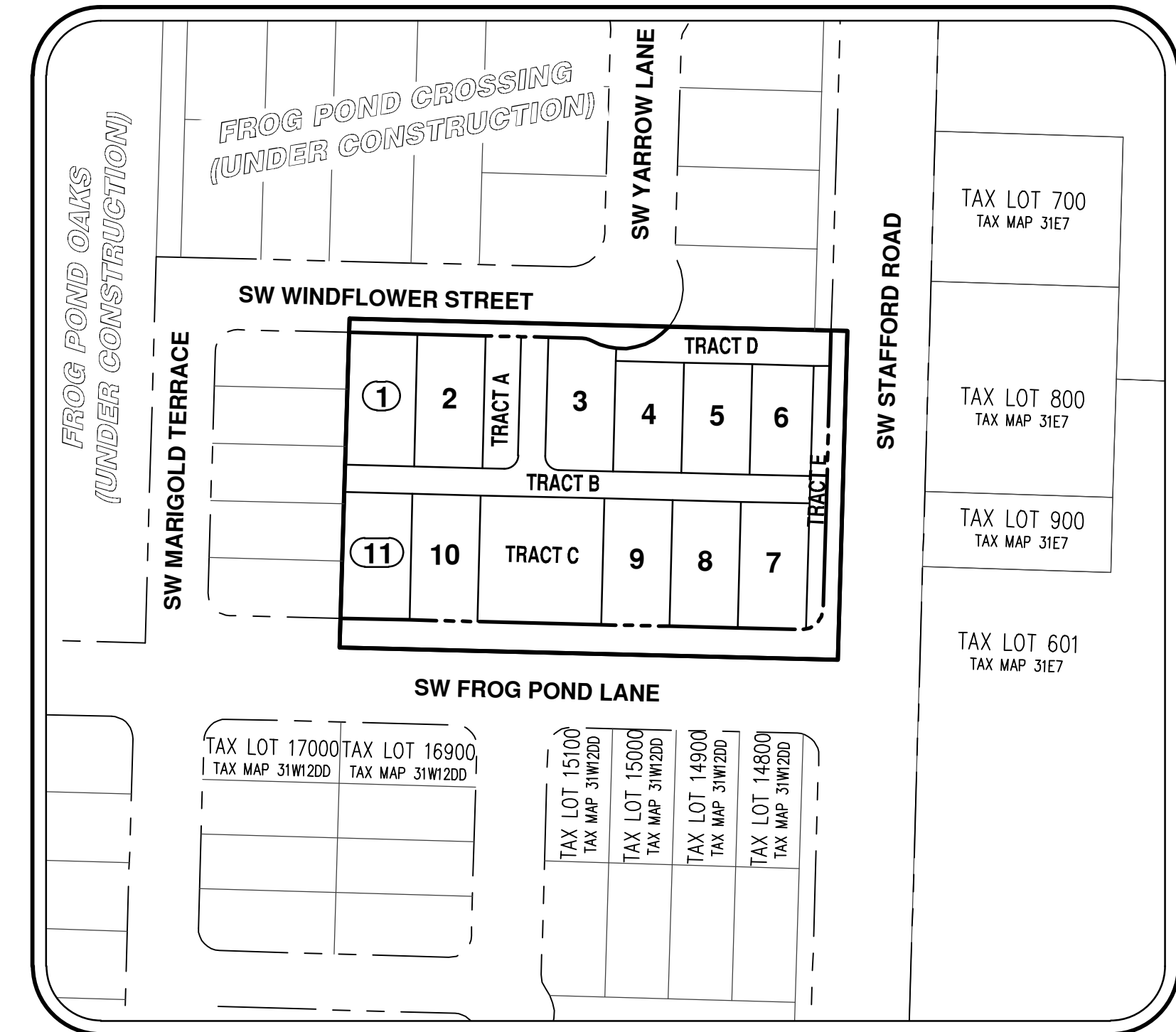
PLANNED UNIT DEVELOPMENT AND TENTATIVE MIDDLE HOUSING LAND DIVISION

PRELIMINARY PLANS



VICINITY MAP

1" = 500'



SITE MAP

1" = 100'

APPLICANT:

PETRAS HOMES, LLC.
3673 SW HOMESTEADER ROAD
WEST LINN, OR 97068

PLANNING / ENGINEERING / SURVEYING TEAM:

AKS ENGINEERING & FORESTRY, LLC
CONTACT: CODY STREET / GLEN SOUTHERLAND
12965 SW HERMAN RD, SUITE 100
TUALATIN, OR 97062
PH: 503-563-6151

PROJECT LOCATION:

NORTHWEST CORNER OF THE INTERSECTION OF SW FROG POND LANE & SW STAFFORD ROAD IN WILSONVILLE, OREGON.

PROPERTY DESCRIPTION:

TAX LOT 200, CLACKAMAS COUNTY ASSESSOR'S MAP 3 1W 12D. LOCATED IN THE SOUTHEAST ONE-QUARTER OF SECTION 12, TOWNSHIP 3 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN. CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON.

EXISTING LAND USE:

VACANT LOT

PROJECT PURPOSE:

PLANNED UNIT DEVELOPMENT FOR FUTURE SINGLE-FAMILY HOMES.

VERTICAL DATUM:

VERTICAL DATUM: DERIVED FROM GPS OBSERVATIONS USING THE TRIMBLE VRS NOW NETWORK (NAVD 88).

HORIZONTAL DATUM:

HORIZONTAL DATUM: A LOCAL DATUM PLANE SCALED FROM OREGON STATE PLANE NORTH 3601 NAD83(2011) EPOCH 2010.0000 BY HOLDING A PROJECT MEAN GROUND COMBINED SCALE FACTOR OF 1.0001095227 AT A CALCULATED CENTRAL PROJECT POINT WITH GRID VALUES OF (NORTH:611619.612 EAST:7624210.554). THE MERIDIAN CONVERGENCE ANGLE AT THE CALCULATED CENTRAL POINT IS -1°35'37". THE STATE PLANE COORDINATES WERE DERIVED FROM THE TRIMBLE VRS NETWORK.

SITE INFORMATION:

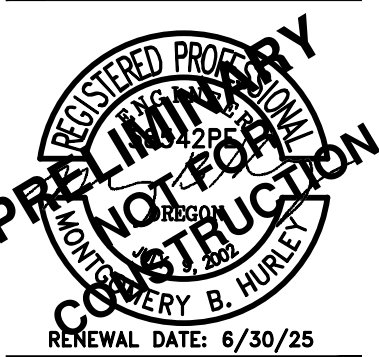
GROSS AREA: 2.02 ACRES

SHEET INDEX

- P-01 COVER SHEET WITH LEGEND, VICINITY, AND SITE MAPS
- P-02 ANNEXATION PLAN
- P-03 EXISTING CONDITIONS PLAN
- P-04 PRELIMINARY DEMOLITION PLAN
- P-05 PRELIMINARY AERIAL PHOTOGRAPH PLAN
- P-06 PRELIMINARY DIMENSIONED SUBDIVISION PLAN
- P-07 PRELIMINARY MIDDLE HOUSING LAND DIVISION PLAT
- P-08 PRELIMINARY GRADING AND EROSION CONTROL PLAN
- P-09 PRELIMINARY COMPOSITE UTILITY PLAN
- P-10 PRELIMINARY STREET PLAN
- P-11 PRELIMINARY STREET CROSS SECTIONS
- P-12 PRELIMINARY STREET PROFILES
- P-13 PRELIMINARY STREET PROFILES
- P-14 PRELIMINARY LANDSCAPE PLAN
- P-15 PRELIMINARY LANDSCAPE DETAILS AND NOTES
- P-16 PRELIMINARY LANDSCAPE WALL DETAILS

LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
DECIDUOUS TREE			STORM DRAIN CLEAN OUT		
CONIFEROUS TREE			STORM DRAIN CATCH BASIN		
FIRE HYDRANT			STORM DRAIN AREA DRAIN		
WATER BLOWOFF			STORM DRAIN MANHOLE		
WATER METER			GAS METER		
WATER VALVE			GAS VALVE		
DOUBLE CHECK VALVE			GUY WIRE ANCHOR		
AIR RELEASE VALVE			UTILITY POLE		
SANITARY SEWER CLEAN OUT			POWER VAULT		
SANITARY SEWER MANHOLE			POWER JUNCTION BOX		
SIGN			POWER PEDESTAL		
STREET LIGHT			COMMUNICATIONS VAULT		
MAILBOX			COMMUNICATIONS JUNCTION BOX		
			COMMUNICATIONS RISER		
RIGHT-OF-WAY LINE					
BOUNDARY LINE					
PROPERTY LINE					
CENTERLINE					
DITCH					
CURB					
EDGE OF PAVEMENT					
EASEMENT					
FENCE LINE					
GRAVEL EDGE					
POWER LINE					
OVERHEAD WIRE					
COMMUNICATIONS LINE					
FIBER OPTIC LINE					
GAS LINE					
STORM DRAIN LINE					
SANITARY SEWER LINE					
WATER LINE					



RENEWAL DATE: 6/30/25
JOB NUMBER: 9338
DATE: 10/03/2023
DESIGNED BY: NRA
DRAWN BY: JJA
CHECKED BY: CMS

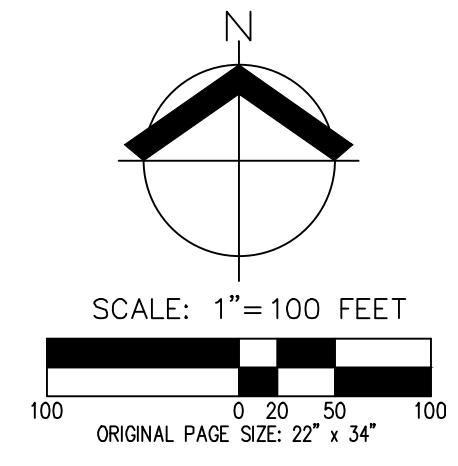
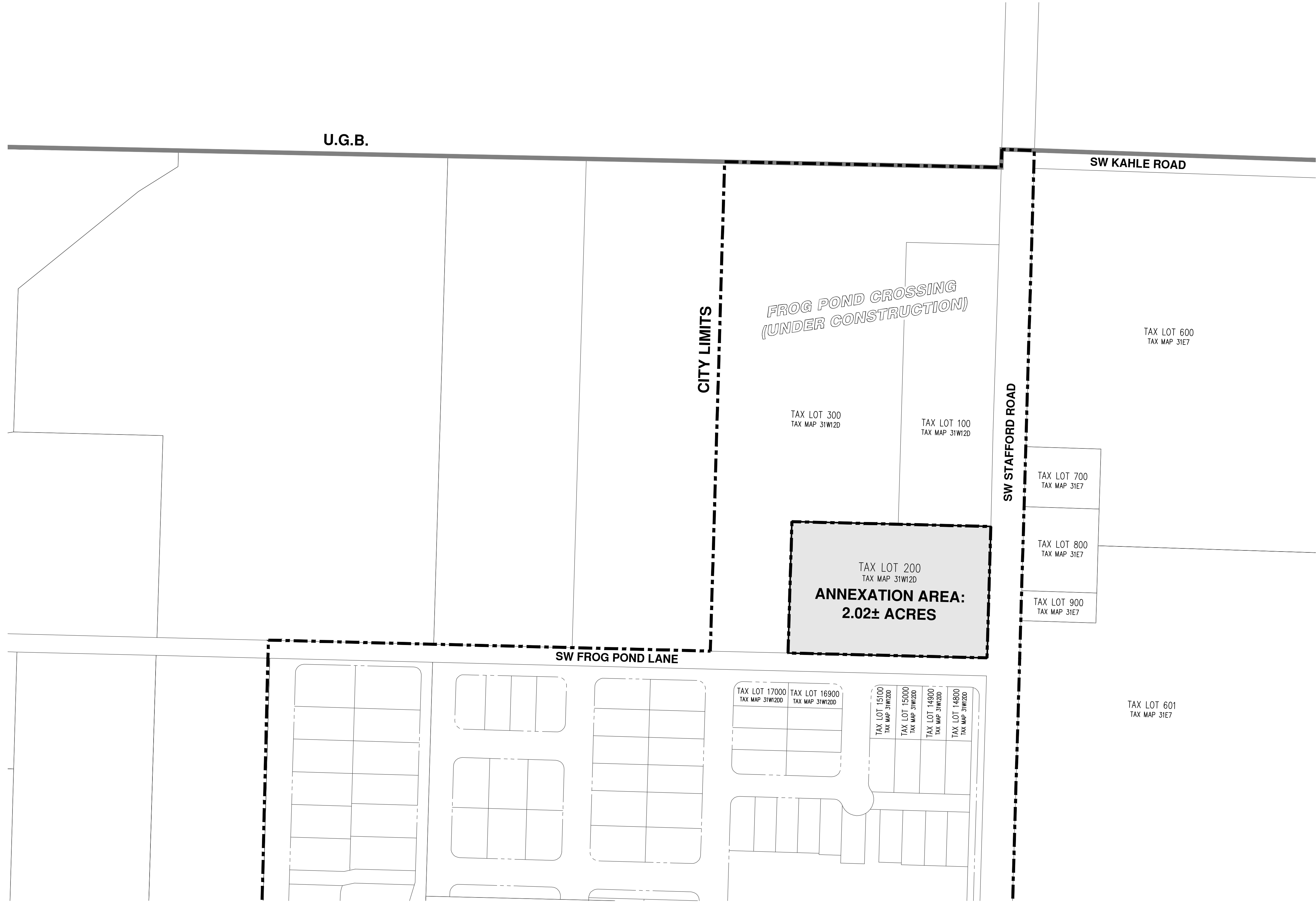
**ANNEXATION PLAN
 PETRAS HOMES SUBDIVISION
 PETRAS HOMES, LLC.
 WILSONVILLE, OREGON**

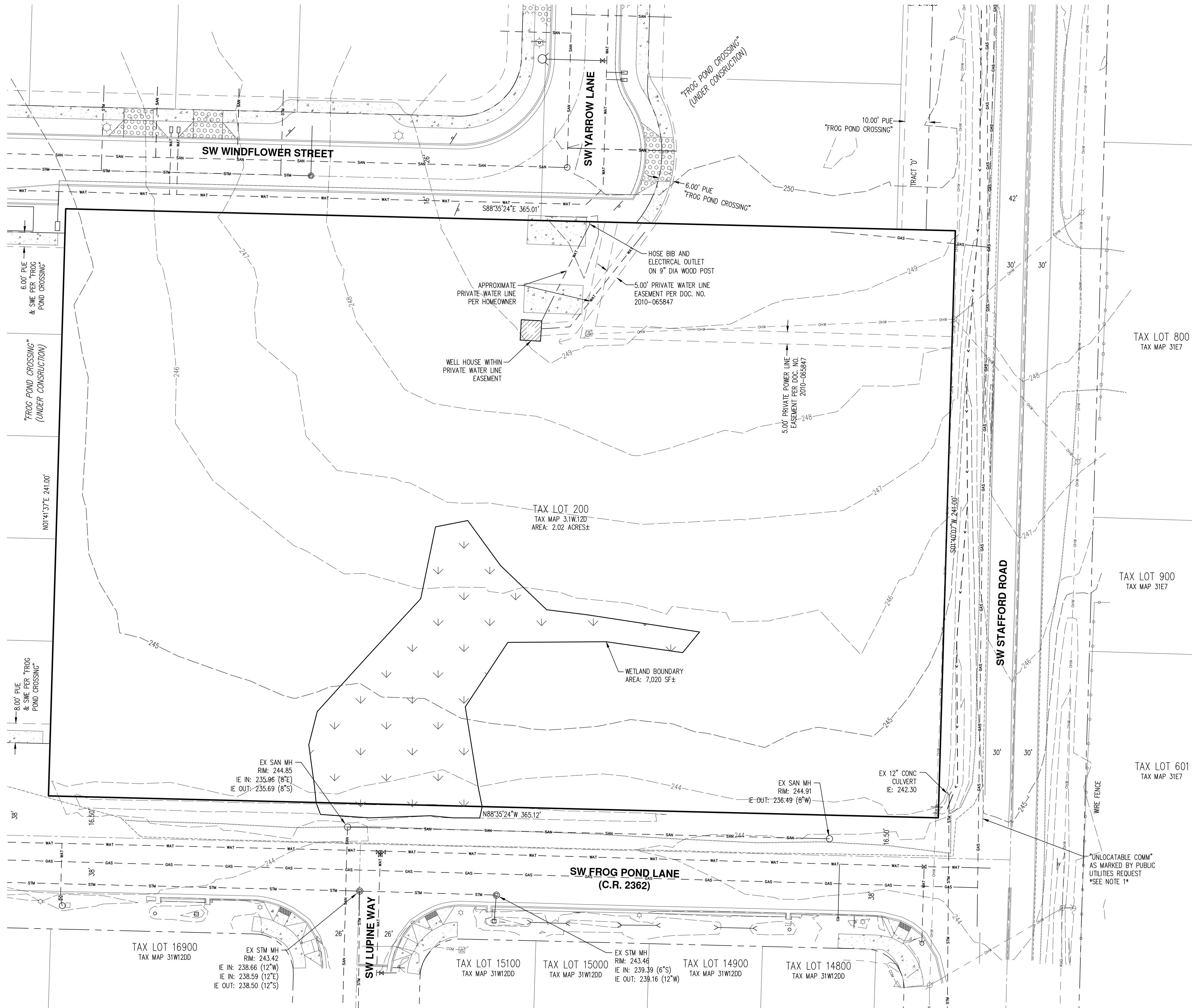


RENEWAL DATE: 6/30/25
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LEGEND

- AREA TO BE ANNEXED
- URBAN GROWTH BOUNDARY
- CITY LIMITS BOUNDARY



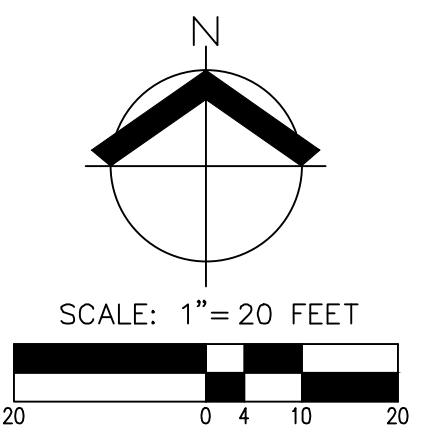


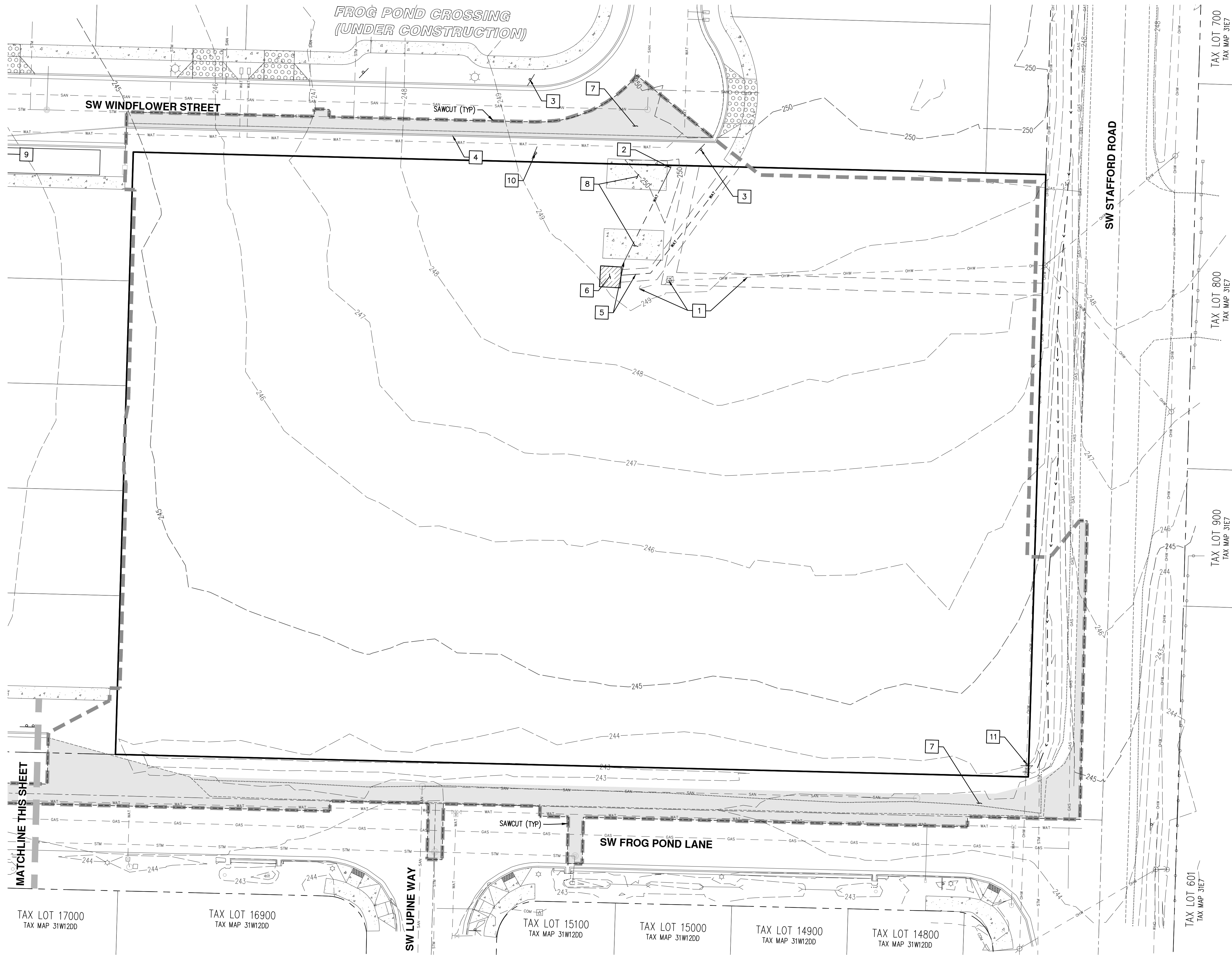
- NOTES:**
- UTILITIES SHOWN ARE BASED ON UNDERGROUND UTILITY LOCATE MARKINGS AS PROVIDED BY OTHERS, PROVIDED PER UTILITY LOCATE TICKET NUMBERS 21084848, 21084859, 21084868, 21084871, 21084875. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND LOCATES REPRESENT THE ONLY UTILITIES IN THE AREA. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
 - FIELD WORK WAS CONDUCTED FEBRUARY 17-25, 2021, JUNE 10, 2021, AND DECEMBER 21, 2022.
 - VERTICAL DATUM: DERIVED FROM GPS OBSERVATIONS USING THE TRIMBLE VRS NOW NETWORK (NAVD 88).
 - HORIZONTAL DATUM: A LOCAL DATUM PLANE SCALED FROM OREGON STATE PLANE NORTH 3601 NAD83(2011) EPOCH 2010.0000 BY HOLDING A PROJECT MEAN GROUND COMBINED SCALE FACTOR OF 1.0001095227 AT A CALCULATED CENTRAL PROJECT POINT WITH GRID VALUES OF (NORTH:611619.612 EAST:7624210.554). THE MERIDIAN CONVERGENCE ANGLE AT THE CALCULATED CENTRAL POINT IS -1'35"37". THE STATE PLANE COORDINATES WERE DERIVED FROM THE TRIMBLE VRS NETWORK.
 - THIS IS NOT A PROPERTY BOUNDARY SURVEY TO BE RECORDED WITH THE COUNTY SURVEYOR. BOUNDARIES MAY BE PRELIMINARY AND SHOULD BE CONFIRMED WITH THE STAMPING SURVEYOR PRIOR TO RELYING ON FOR DETAILED DESIGN OR CONSTRUCTION.
 - BUILDING FOOTPRINTS ARE MEASURED TO SIDING UNLESS NOTED OTHERWISE. CONTACT SURVEYOR WITH QUESTIONS REGARDING BUILDING TIES.
 - CONTOUR INTERVAL IS 1 FOOT.
 - NO TREES ARE LOCATED ON THE SUBJECT PROPERTY.
 - WETLAND BOUNDARY SHOWN WAS DELINEATED BY AKS ENGINEERING & FORESTRY, LLC, ON MARCH 8, 2022 AND WAS PROFESSIONALLY LAND SURVEYED BY AKS ON DECEMBER 21, 2022.
 - AT THE TIME OF THIS SURVEY, FROG POND CROSSING WAS UNDER CONSTRUCTION. IMPROVEMENTS AND UTILITIES SHOWN ON THIS PLAT ARE BASED ON CONSTRUCTION PLANS AND ARE CONSIDERED APPROXIMATE.

**EXISTING CONDITIONS PLAN
PETRAS HOMES SUBDIVISION
PETRAS HOMES, LLC.
WILSONVILLE, OREGON**

REGISTERED PROFESSIONAL LAND SURVEYOR
PRELIMINARY NOT FOR CONSTRUCTION
 JANUARY 2016
 MICHAEL S. KALINA
 89558PLS
 RENEWS: 6/30/25

JOB NUMBER: 9338
 DATE: 10/03/2023
 DESIGNED BY: NRA
 DRAWN BY: JJA
 CHECKED BY: CMS





- # DEMOLITION KEYED NOTES**
1. REMOVE EXISTING OVERHEAD WIRE, ASSOCIATED UTILITY POLE, AND GUY WIRE
 2. REMOVE EXISTING HOSE BIB AND WOOD POST
 3. REMOVE EXISTING TEMPORARY "NO PARKING" SIGN
 4. REMOVE EXISTING TEMPORARY ASPHALT BERM
 5. REMOVE EXISTING WATER LINE
 6. REMOVE EXISTING WELL HOUSE AND DECOMMISSION WELL PER APPLICABLE REQUIREMENTS
 7. REMOVE EXISTING ASPHALT TO SAWCUT LINE
 8. REMOVE EXISTING CONCRETE PAD
 9. REMOVE EXISTING TEMPORARY NO PARKING SIGN AT THE SOUTHEAST CORNER OF THE INTERSECTION OF SW WINDFLOWER STREET AND SW MARGOLD TERRACE
 10. RELOCATE EXISTING STREET SIGN TO PLANTER STRIP
 11. REMOVE EXISTING SIGN

LEGEND

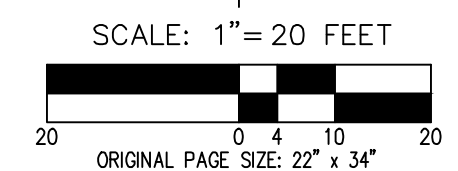
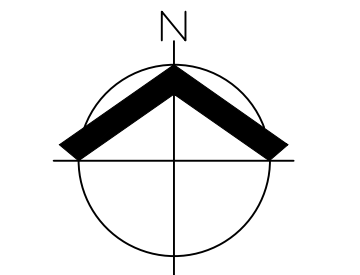
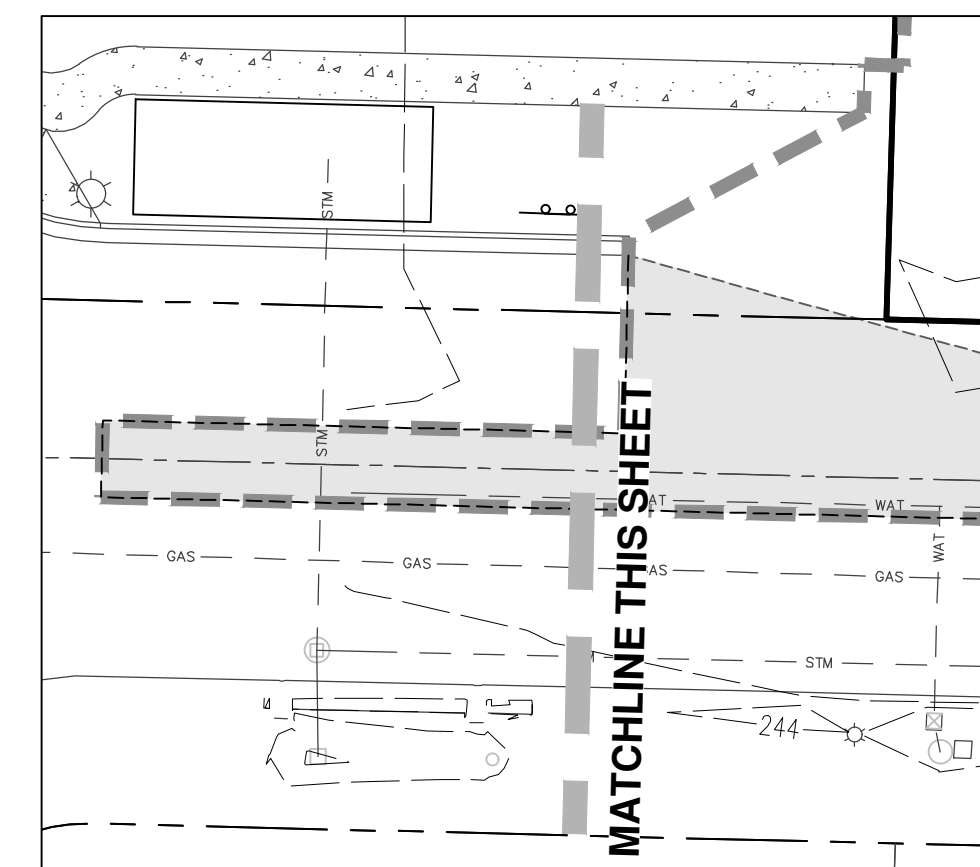
EXISTING GROUND CONTOUR (1 FT) ——— 249 ———

EXISTING GROUND CONTOUR (5 FT) ——— 250 ———

AC CONCRETE TO BE REMOVED [Hatched Box]

SAWCUT LINE - - - - -

LIMITS OF DISTURBANCE [Dashed Line]



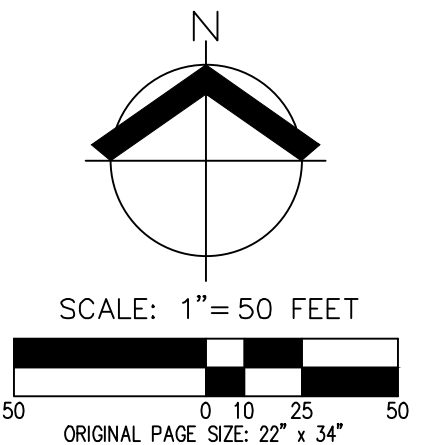
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**PRELIMINARY DEMOLITION PLAN
 PETRAS HOMES SUBDIVISION
 PETRAS HOMES, LLC.
 WILSONVILLE, OREGON**

REGISTERED PROFESSIONAL ENGINEER
NOT FOR CONSTRUCTION
 WILSONVILLE, OREGON
 CHRISTOPHER B. WILSON
 RENEWAL DATE: 6/30/25

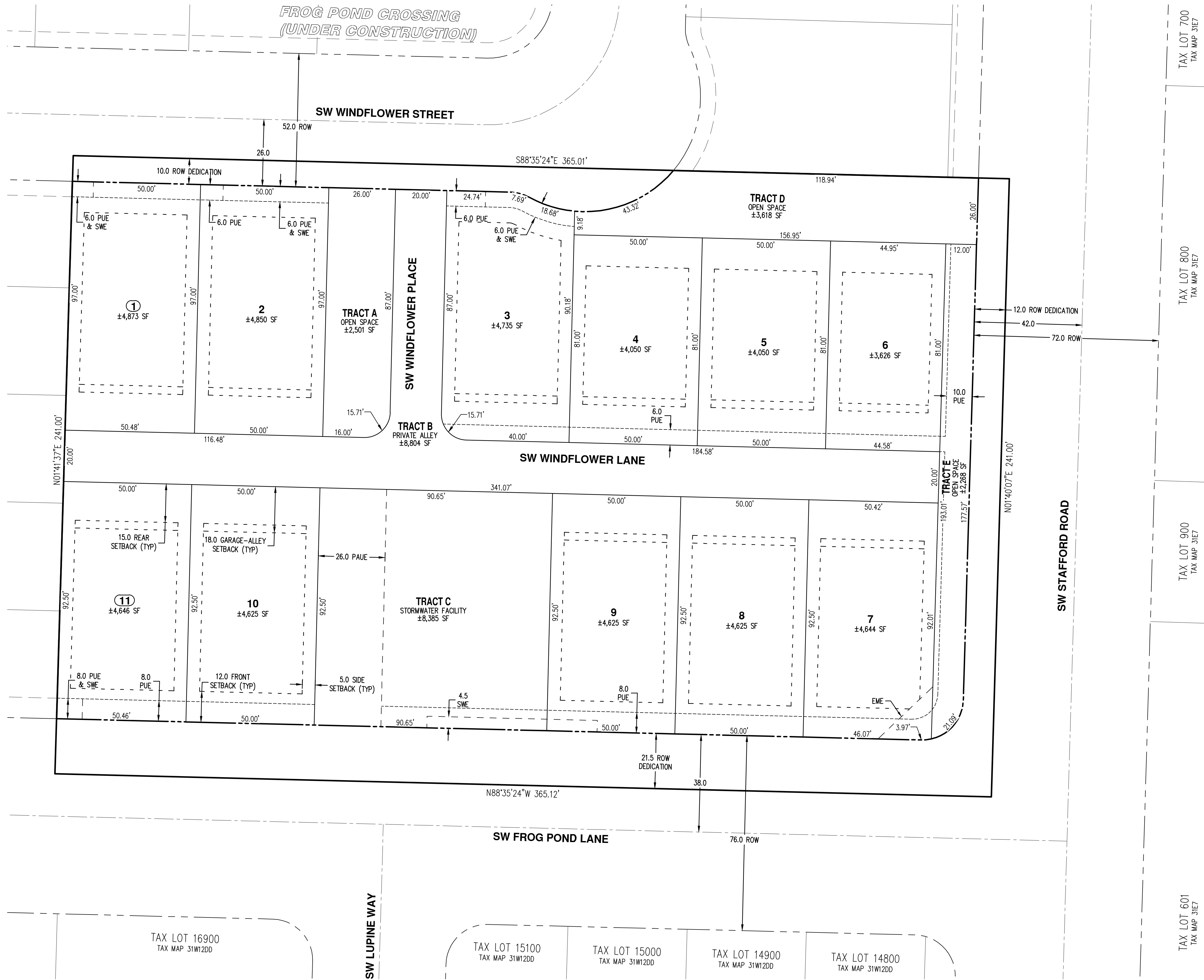
JOB NUMBER: 9338
 DATE: 10/03/2023
 DESIGNED BY: NRA
 DRAWN BY: JJA
 CHECKED BY: CMS

AKS DRAWING FILE: 9338 DEMO.DWG | LAYOUT: P-04



PRELIMINARY AERIAL PHOTOGRAPH PLAN
PETRAS HOMES SUBDIVISION
PETRAS HOMES, LLC.
WILSONVILLE, OREGON

PRELIMINARY
 REGISTERED PROFESSIONAL SURVEYOR
 NOT FOR CONSTRUCTION
 CONSTRUCTION
 B. WURLEY
 RENEWAL DATE: 6/30/25
 JOB NUMBER: 9338
 DATE: 10/03/2023
 DESIGNED BY: NRA
 DRAWN BY: JJA
 CHECKED BY: CMS



NOTES:

- TRACT B SHALL BE A PRIVATE ALLEY TO BE MAINTAINED BY A HOMEOWNERS ASSOCIATION AND IS SUBJECT TO A PUBLIC ACCESS AND UTILITY EASEMENT OVER ITS ENTIRETY.
- TRACTS A AND D ARE INTENDED TO BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION AS OPEN SPACE AND ARE SUBJECT TO A PUBLIC PEDESTRIAN AND BICYCLE ACCESS EASEMENT AND PUBLIC UTILITY EASEMENT OVER THEIR ENTIRETY.
- TRACT C IS SUBJECT TO A STORMWATER FACILITY AND ACCESS EASEMENT TO THE BENEFIT OF THE CITY OF WILSONVILLE OVER ITS ENTIRETY.
- TRACT E IS FOR LANDSCAPE BUFFER PURPOSES.

EASEMENT LEGEND	
EME	ENTRY MONUMENT EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PAUE	PUBLIC ACCESS AND UTILITY EASEMENT
SWE	SIDEWALK EASEMENT

LOT COVERAGE SUMMARY	
	SUBDISTRICT 10 R-5
MAX. LOT COVERAGE*	60%

*LOT COVERAGE INCLUDES BUILDINGS ONLY.

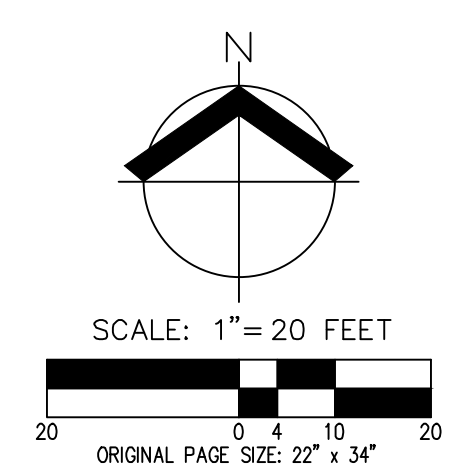
LOT SIZE SUMMARY	
	SUBDISTRICT 10 R-5
MIN. LOT SIZE*	4,000 SF

*LOT 6 REDUCED TO 3,200 SF MINIMUM PER CITY OF WILSONVILLE MUNICIPAL CODE SECTION 4.127, TABLE 2, NOTE A(3).

SUMMARY OF LAND USES		
LAND USE	SF	PERCENTAGE OF PROPERTY
1. GROSS AREA IN PLAT	87,980	—
2. LANDSCAPE/ OPEN SPACE AREA	10,791	12%
3. RIGHT OF WAY AREA	13,056	15%
4. LOT AREA	49,348	56%
5. ALLEY AREA	8,804	10%
6. STORMWATER TREATMENT FACILITY AREA	5,980	7%

R-5 SETBACKS	
FRONT	12 FT
REAR	15 FT
SIDE - INTERNAL	5 FT
SIDE - CORNER	10 FT
GARAGE - FROM STREET	20 FT
GARAGE - FROM ALLEY	18 FT
FRONT PORCH	7 FT

DISCLAIMER:
 THE PURPOSE OF THIS PRELIMINARY DIMENSIONED PLAN IS TO SHOW LOT DIMENSIONS AND AREAS FOR PLANNING PURPOSES. THIS IS NOT AN OFFICIAL RECORDED FINAL PLAT AND IS NOT TO BE USED FOR SURVEY PURPOSES. ALL DIMENSIONS ARE SUBJECT TO CHANGE.



**PRELIMINARY DIMENSIONED SUBDIVISION PLAN
 PETRAS HOMES SUBDIVISION
 PETRAS HOMES, LLC.
 WILSONVILLE, OREGON**

PRELIMINARY
 NOT FOR CONSTRUCTION
 REGISTERED PROFESSIONAL SURVEYOR
 CHRISTOPHER B. WURLEY
 RENEWAL DATE: 6/30/25
 JOB NUMBER: 9338
 DATE: 10/03/2023
 DESIGNED BY: NRA
 DRAWN BY: JJA
 CHECKED BY: CMS



- NOTES:**
- FURTHER DIVISION OF THE RESULTING MIDDLE HOUSING LAND DIVISION UNITS IS PROHIBITED.
 - THE APPROVAL OF THE MIDDLE HOUSING LAND DIVISION IS PURSUANT TO ORS 92.010 TO 92.192, AS APPLICABLE.

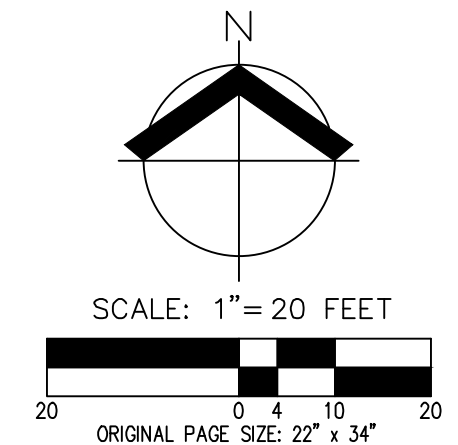
EASEMENT LEGEND	
EME	ENTRY MONUMENT EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PAUE	PUBLIC ACCESS AND UTILITY EASEMENT
SWE	SIDEWALK EASEMENT

LOT COVERAGE SUMMARY	
	SUBDISTRICT 10 R-5
MAX. LOT COVERAGE*	60%

*LOT COVERAGE INCLUDES BUILDINGS ONLY.

R-5 SETBACKS	
FRONT	12 FT
REAR	15 FT
SIDE - INTERNAL	5 FT
SIDE - CORNER	10 FT
GARAGE - FROM STREET	20 FT
GARAGE - FROM ALLEY	18 FT
FRONT PORCH	7 FT

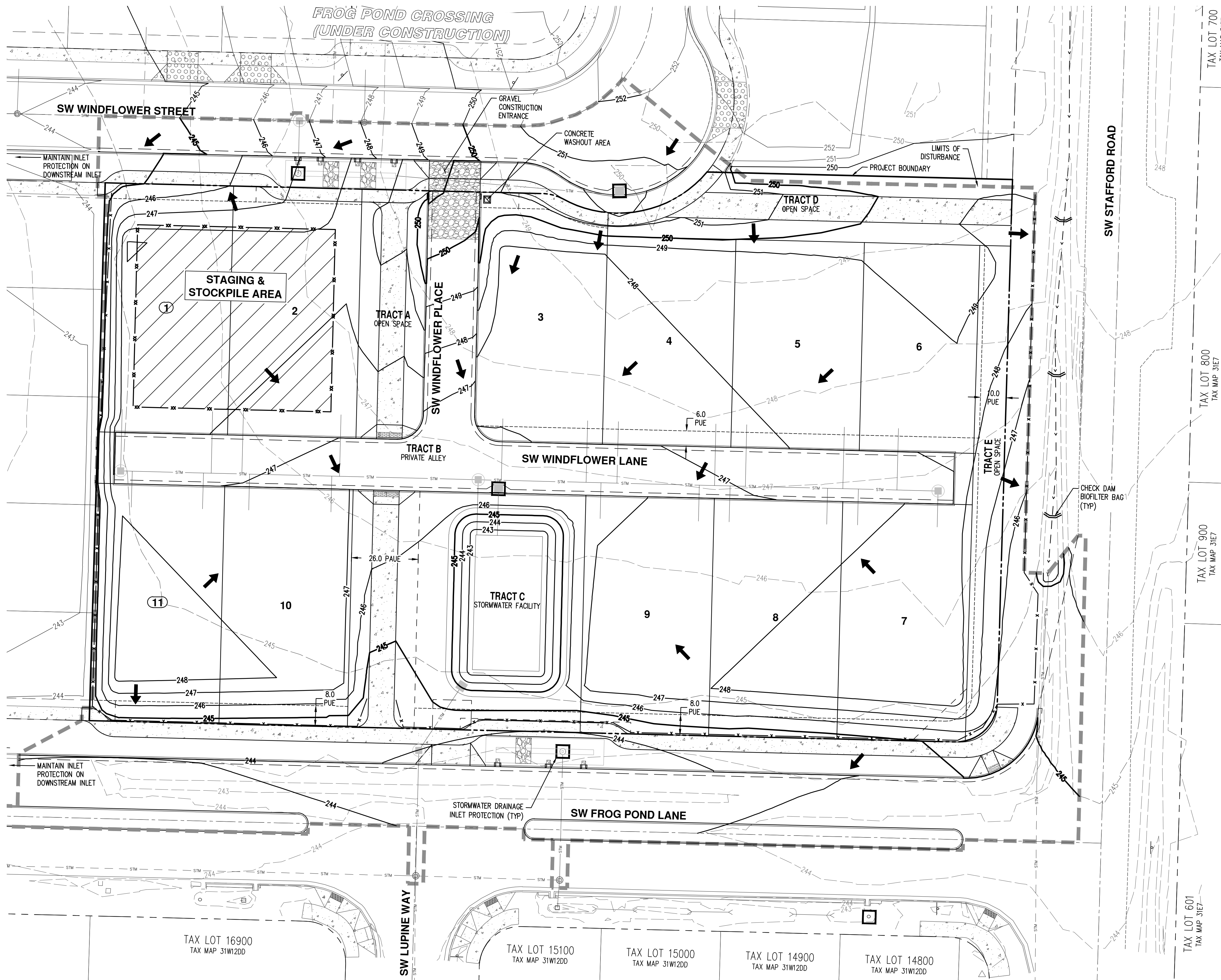
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PRELIMINARY MIDDLE HOUSING LAND DIVISION PLAT
PETRAS HOMES SUBDIVISION
PETRAS HOMES, LLC.
WILSONVILLE, OREGON

REGISTERED PROFESSIONAL SURVEYOR
 NOT FOR CONSTRUCTION
 WILSONVILLE, OREGON
 CHRISTOPHER B. WURLEY
 RENEWAL DATE: 6/30/25
 JOB NUMBER: 9338
 DATE: 10/03/2023
 DESIGNED BY: NRA
 DRAWN BY: JJA
 CHECKED BY: CMS

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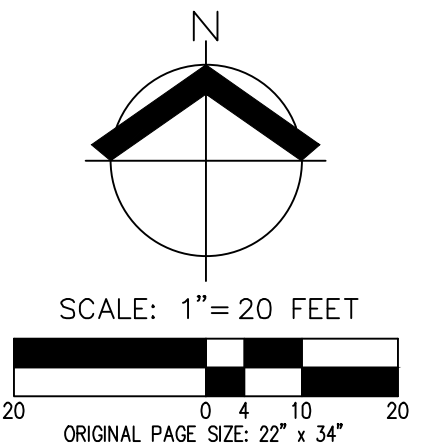
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PUE	PUBLIC UTILITY EASEMENT
PAUE	PUBLIC ACCESS AND UTILITY EASEMENT
SWE	SIDEWALK EASEMENT

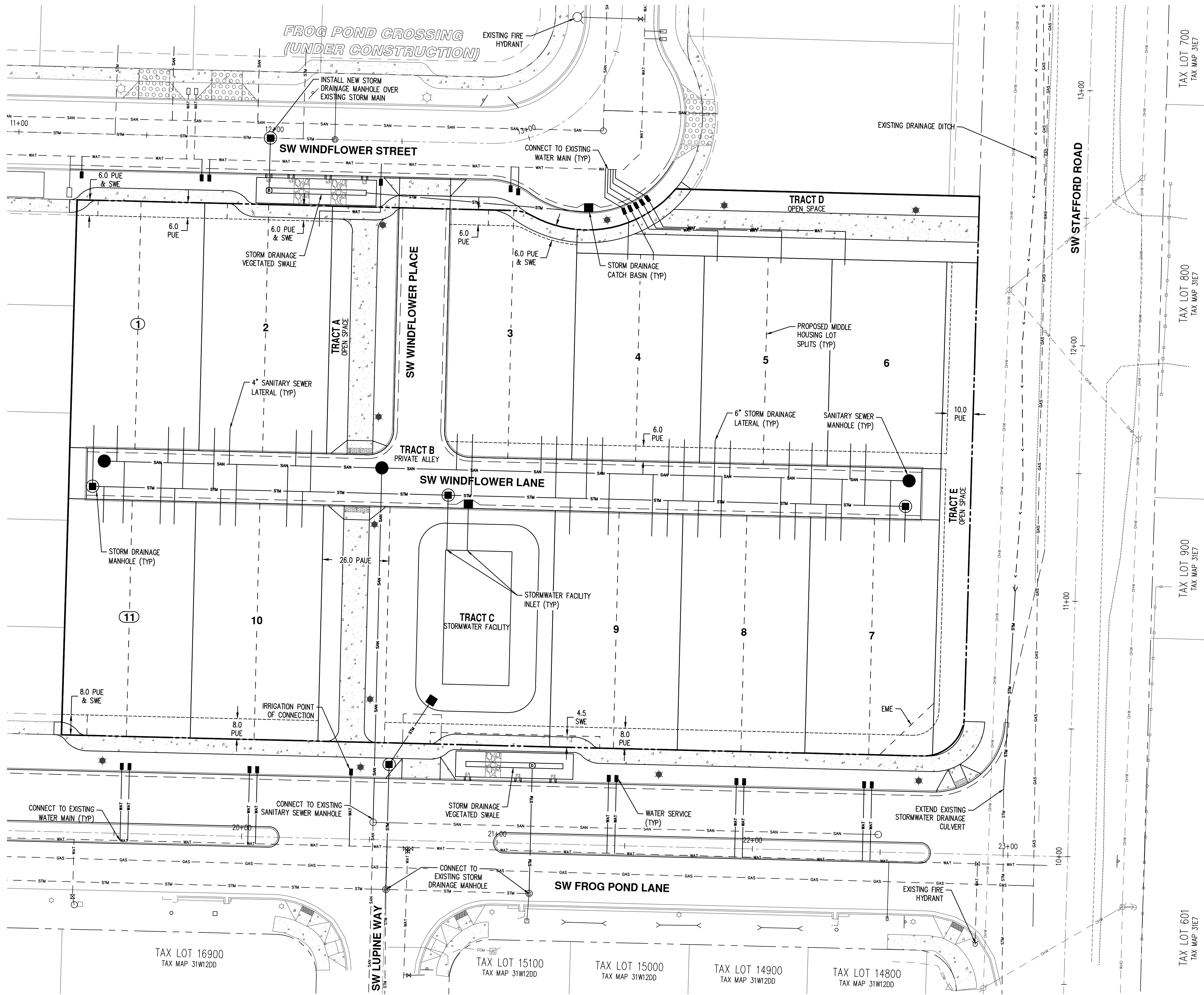
LEGEND	
EXISTING GROUND CONTOUR (1 FT)	---
EXISTING GROUND CONTOUR (5 FT)	---
FROG POND CROSSING FINISHED GRADE CONTOUR (1 FT)	---
FROG POND CROSSING FINISHED GRADE CONTOUR (5 FT)	---
FINISHED GRADE CONTOUR (1 FT)	---
FINISHED GRADE CONTOUR (5 FT)	---
SEDIMENT FENCE (TO BE INSTALLED PRIOR TO GRADING)	- x - x -
SEDIMENT FENCE (TO BE INSTALLED AFTER GRADING)	- x - x -
INLET PROTECTION	□
CHECK DAM BIOFILTER BAG	⌋
CONCRETE WASHOUT AREA	▣
DRAINAGE FLOW DIRECTION	→
GRAVEL CONSTRUCTION ENTRANCE	▨
LIMITS OF DISTURBANCE	---

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PRELIMINARY GRADING AND EROSION CONTROL PLAN
PETRAS HOMES SUBDIVISION
PETRAS HOMES, LLC.
WILSONVILLE, OREGON

PRELIMINARY
 REGISTERED PROFESSIONAL ENGINEER
 NOT FOR CONSTRUCTION
 C. WILSONVILLE, B. WILSONVILLE
 RENEWAL DATE: 6/30/25
 JOB NUMBER: 9338
 DATE: 10/03/2023
 DESIGNED BY: NRA
 DRAWN BY: JJA
 CHECKED BY: CMS



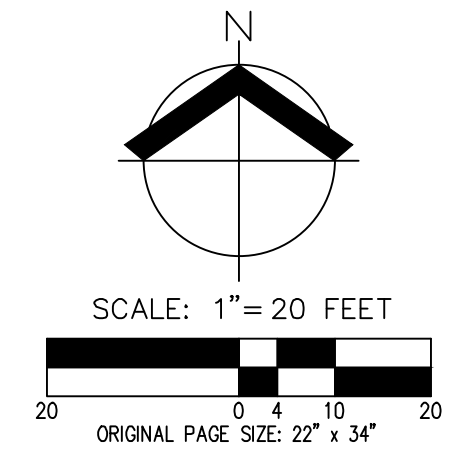


EASEMENT LEGEND	
EME	ENTRY MONUMENT EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PAUE	PUBLIC ACCESS AND UTILITY EASEMENT
SWE	SIDEWALK EASEMENT

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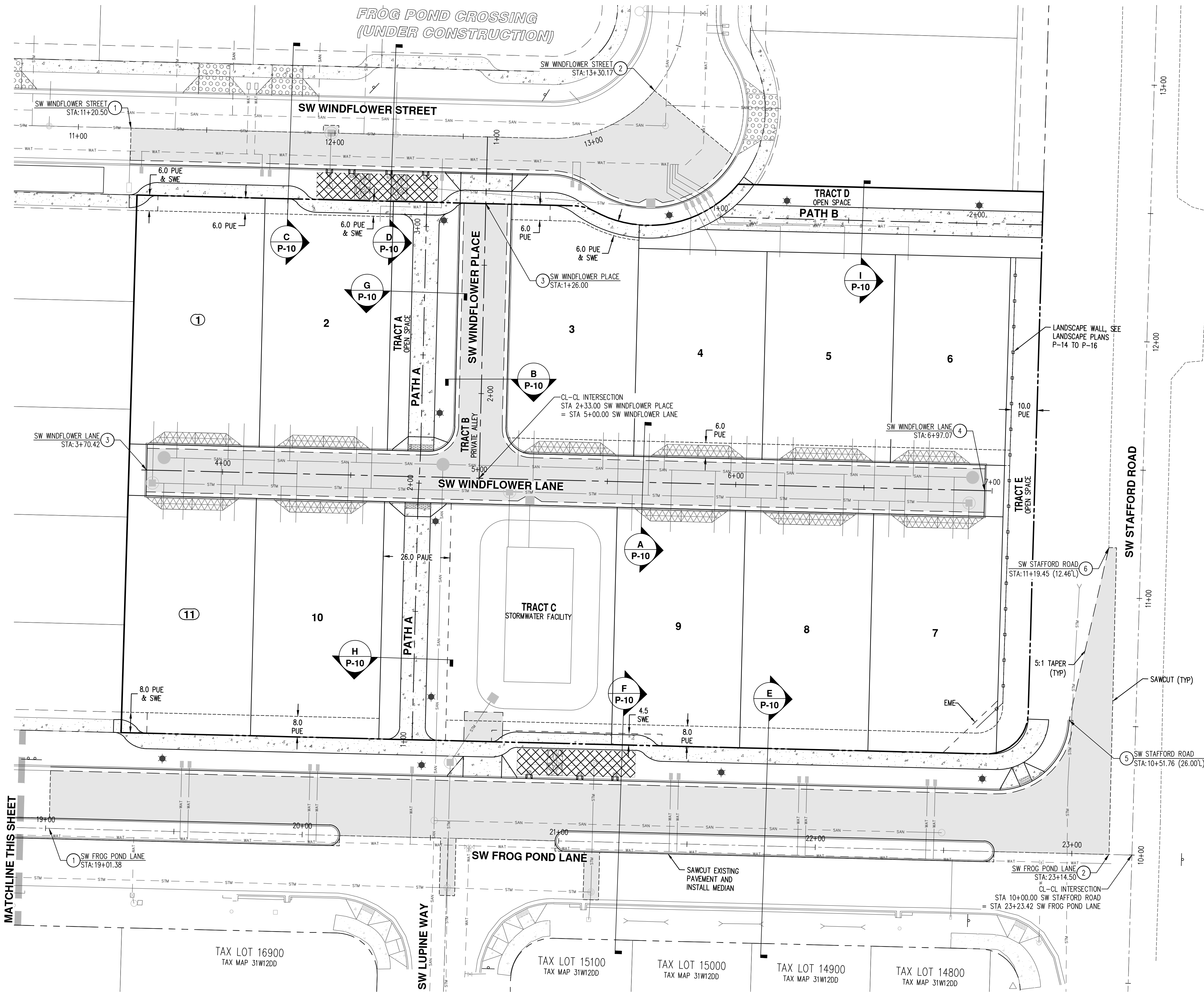
**PRELIMINARY COMPOSITE UTILITY PLAN
 PETRAS HOMES SUBDIVISION
 PETRAS HOMES, LLC.
 WILSONVILLE, OREGON**

PRELIMINARY
 REGISTERED PROPERTY
 NOT FOR CONSTRUCTION
 CONVEYED BY B. WURLEY
 RENEWAL DATE: 6/30/25
 JOB NUMBER: 9338
 DATE: 10/03/2023
 DESIGNED BY: NRA
 DRAWN BY: JJA
 CHECKED BY: CMS



AKS DRAWING FILE: 9338 COMP UTIL.DWG | LAYOUT: P-09

AKS DRAWING FILE: 9338 STREET.DWG | LAYOUT: P-10



EASEMENT LEGEND	
EME	ENTRY MONUMENT EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PAUE	PUBLIC ACCESS AND UTILITY EASEMENT
SWE	SIDEWALK EASEMENT

HATCH LEGEND	
[Hatch Pattern]	CONCRETE SIDEWALK AND DRIVEWAY APPROACHES TO BE CONSTRUCTED BY CONTRACTOR
[Hatch Pattern]	ASPHALT CONCRETE PAVEMENT
[Hatch Pattern]	CONCEPTUAL FUTURE DRIVEWAY
[Hatch Pattern]	STORMWATER SWALE TO BE CONSTRUCTED BY CONTRACTOR
[Hatch Pattern]	SAWCUT LINE

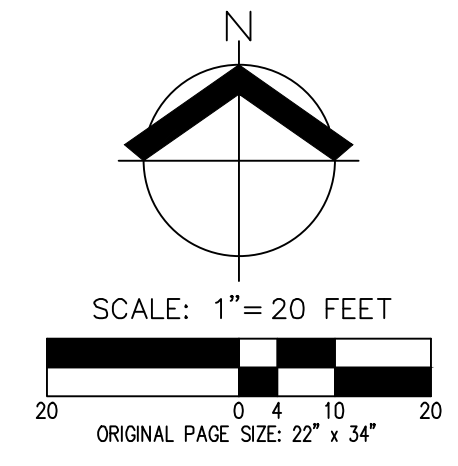
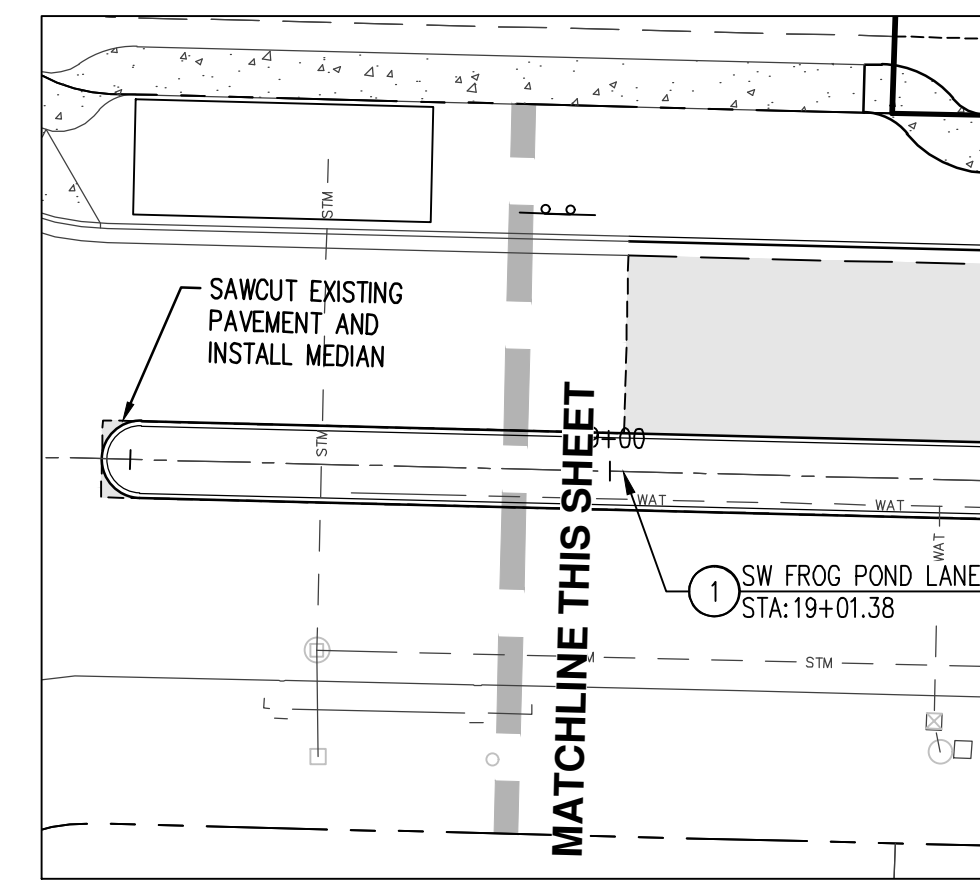
- # **KEYED NOTES**
- BEGIN HALF STREET IMPROVEMENTS.
 - END HALF STREET IMPROVEMENTS.
 - BEGIN ALLEY IMPROVEMENTS.
 - END ALLEY IMPROVEMENTS.
 - BEGIN AC TAPER.
 - END AC TAPER.
- NOTE:**
STREET, ALLEY, & PATHWAY CROSS SECTIONS (A) THROUGH (I) ON SHEET P-11.

TAX LOT 700
TAX MAP 31E7

TAX LOT 800
TAX MAP 31E7

TAX LOT 900
TAX MAP 31E7

TAX LOT 601
TAX MAP 31E7



**PRELIMINARY STREET PLAN
PETRAS HOMES SUBDIVISION
PETRAS HOMES, LLC.
WILSONVILLE, OREGON**

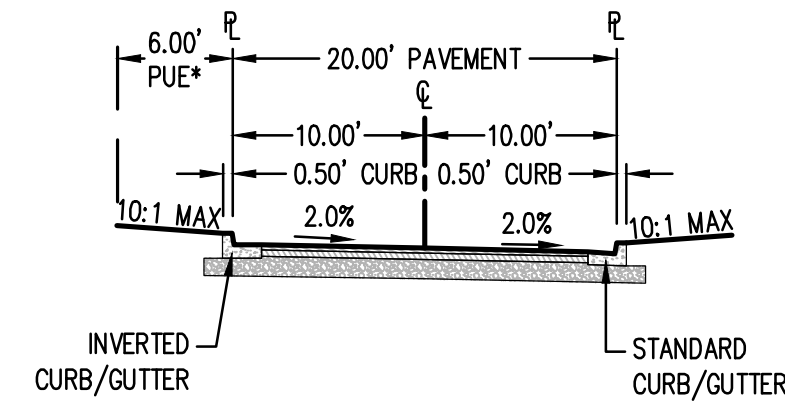
REGISTERED PROFESSIONAL ENGINEER
NOT FOR CONSTRUCTION
COURTESY B. WURLEY

RENEWAL DATE: 6/30/25

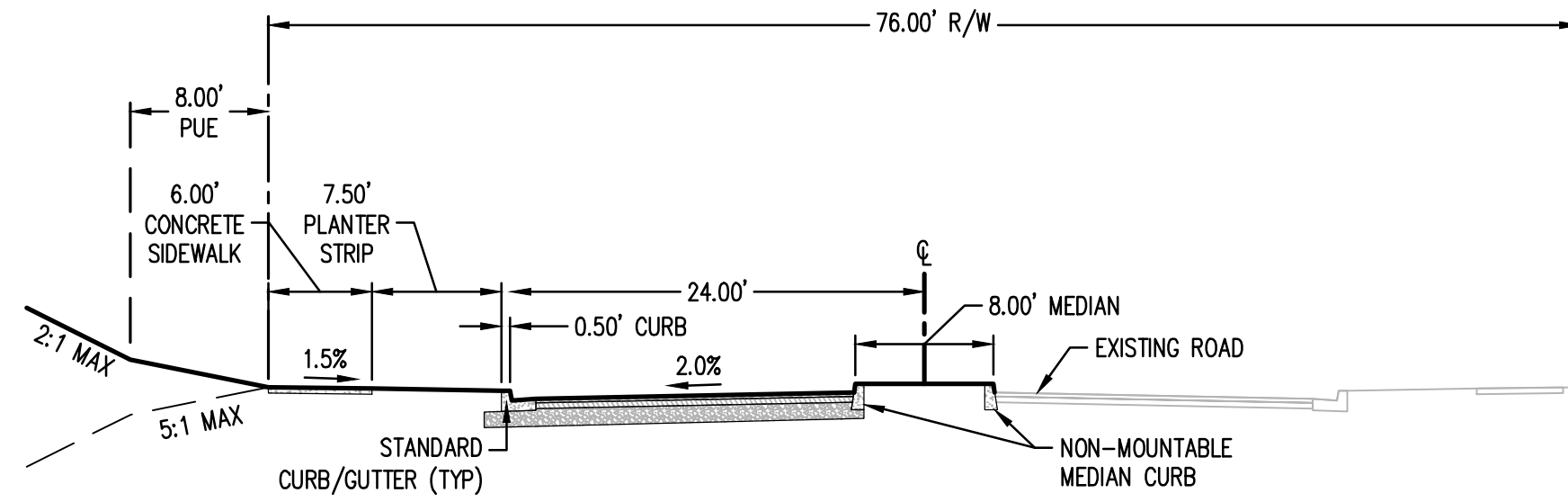
JOB NUMBER: 9338
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AKS ENGINEERING & FORESTRY, LLC
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TUALATIN, OR 97062
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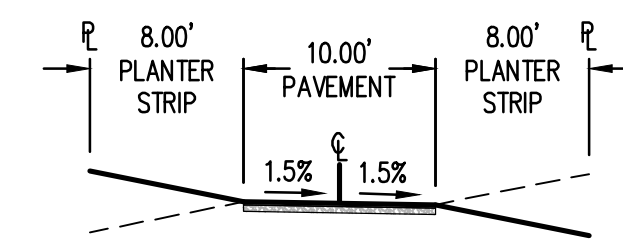
ENGINEERING - SURVEYING - NATURAL RESOURCES
FORESTRY - PLANNING - LANDSCAPE ARCHITECTURE



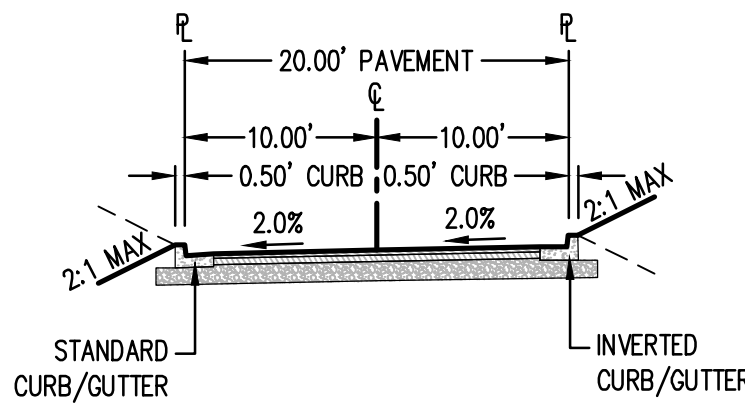
A PRIVATE ALLEY CROSS SECTION (SHED RIGHT)
 *6' PUE ONLY ALONG LOTS 5-11, SEE SHEET P-10. NTS



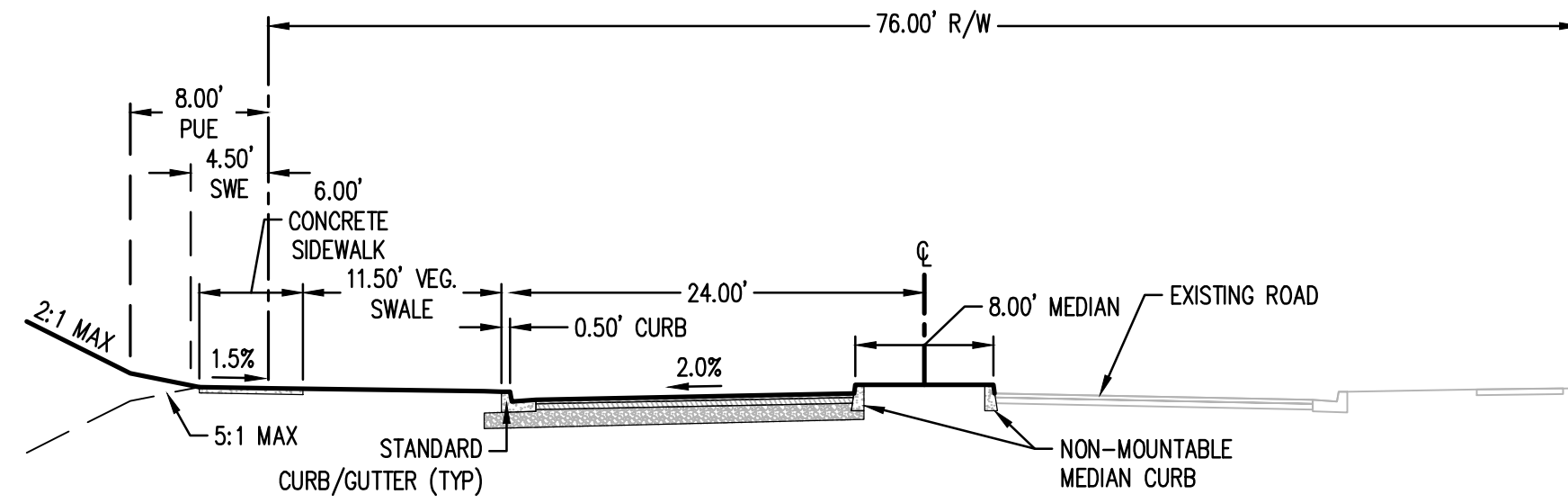
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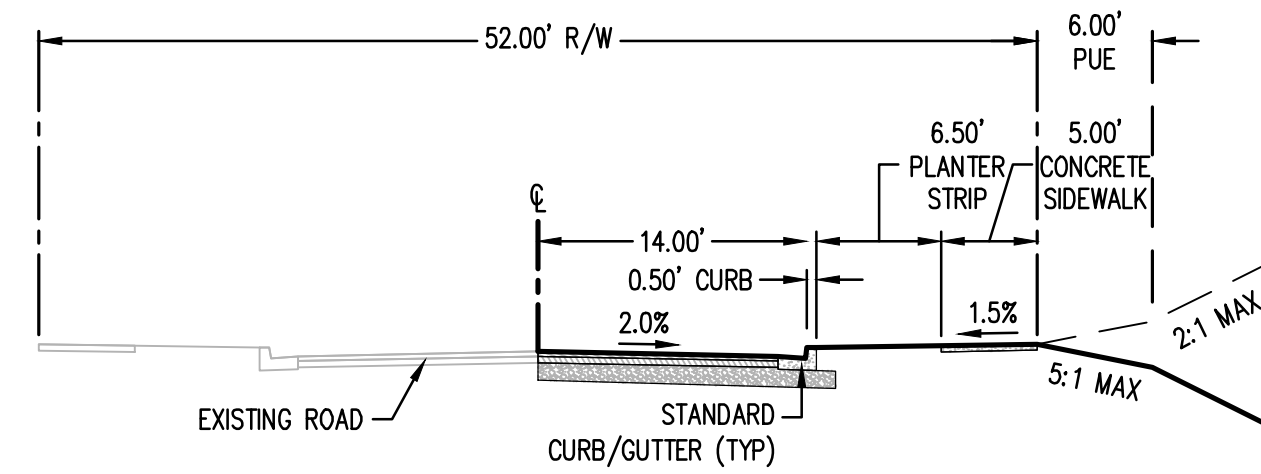
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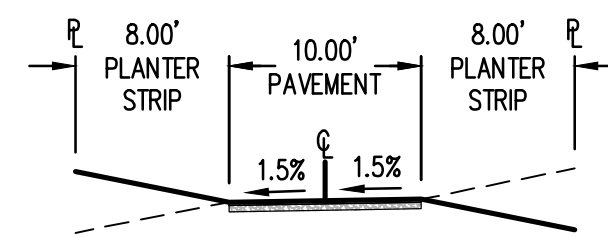
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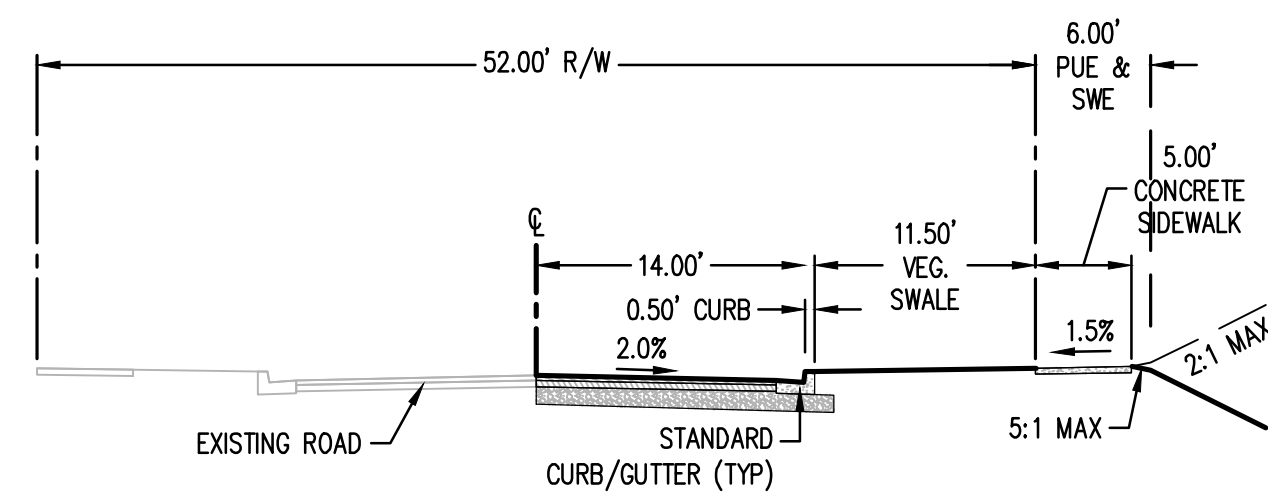
F SW FROG POND LANE CROSS SECTION WITH VEG. SWALE NTS



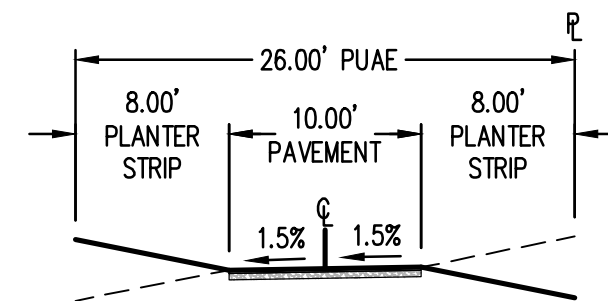
C SW WINDFLOWER STREET CROSS SECTION NTS



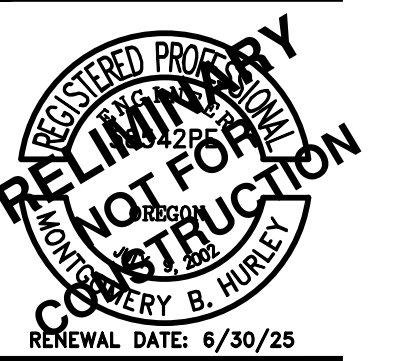
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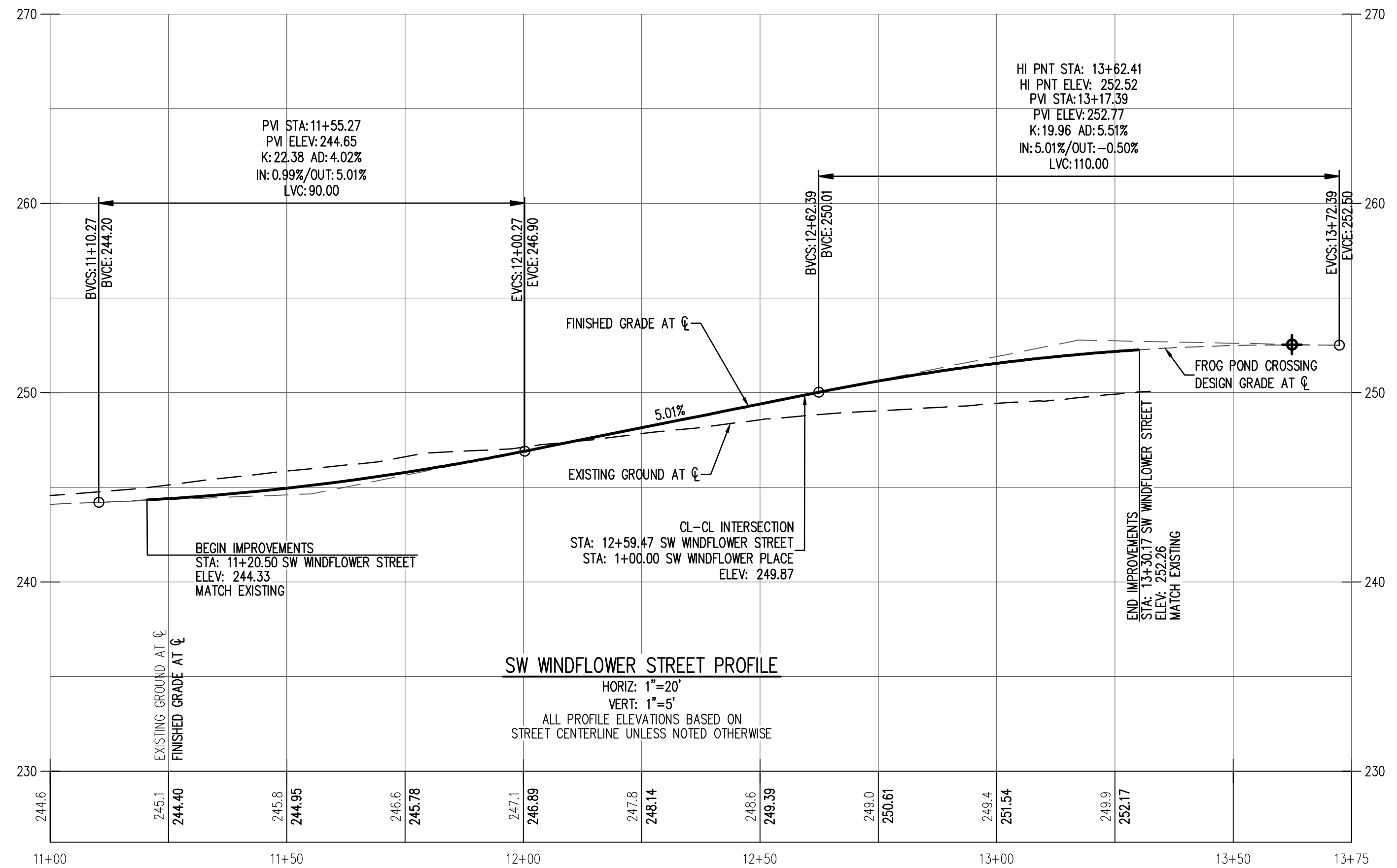
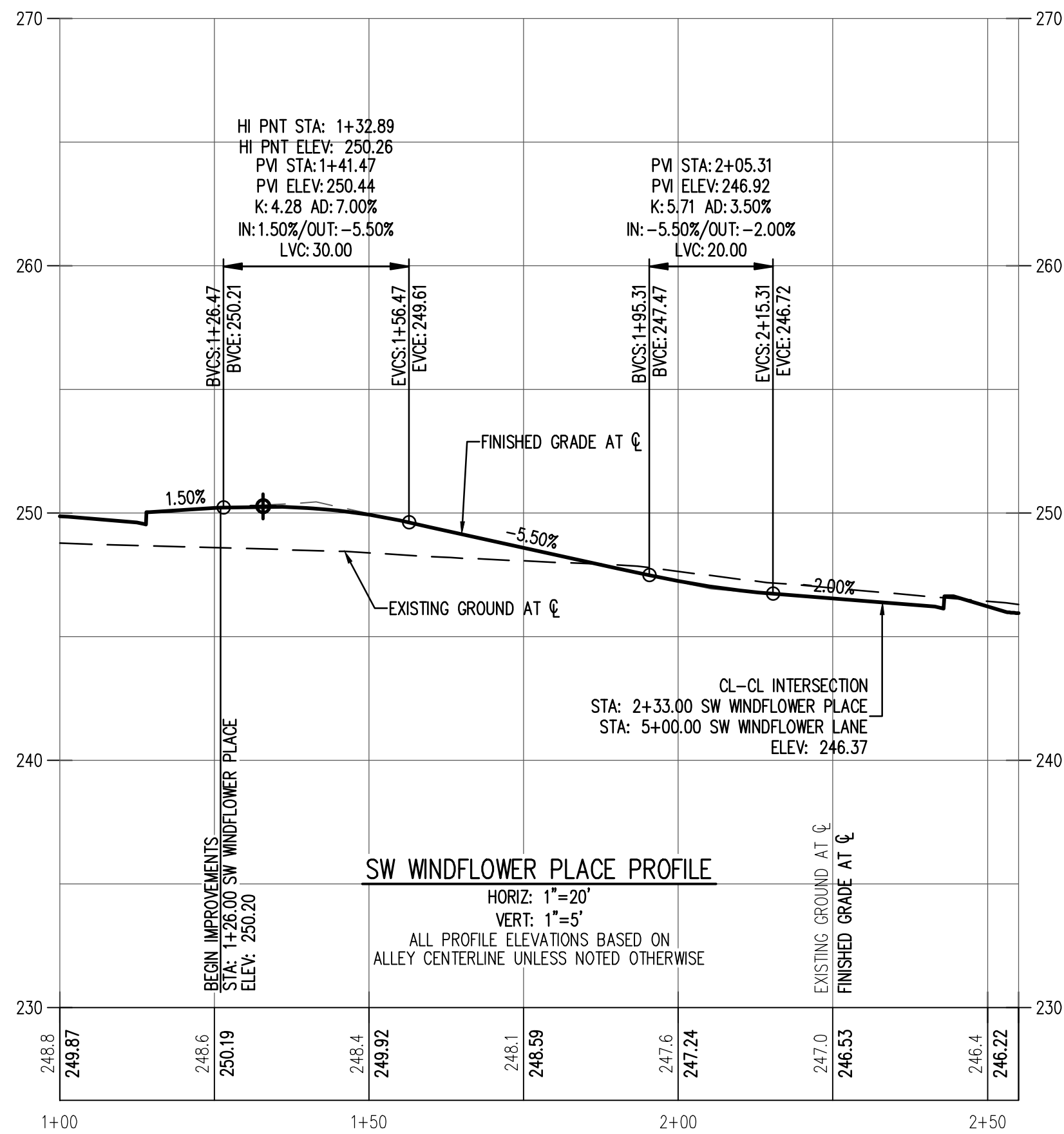
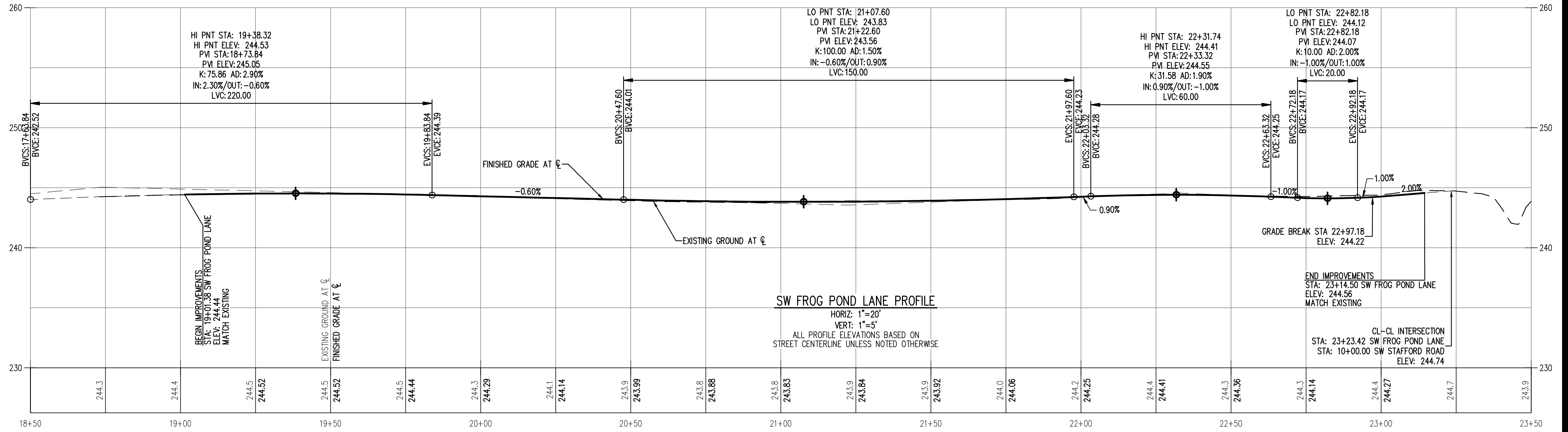
D SW WINDFLOWER STREET CROSS SECTION WITH VEG. SWALE NTS



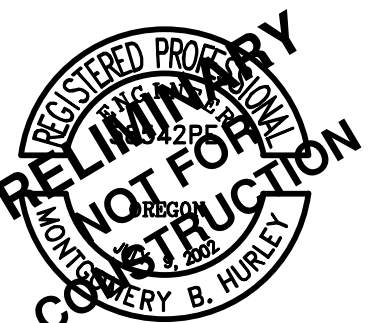
H TRACT C PATH A (SHED LEFT) NTS



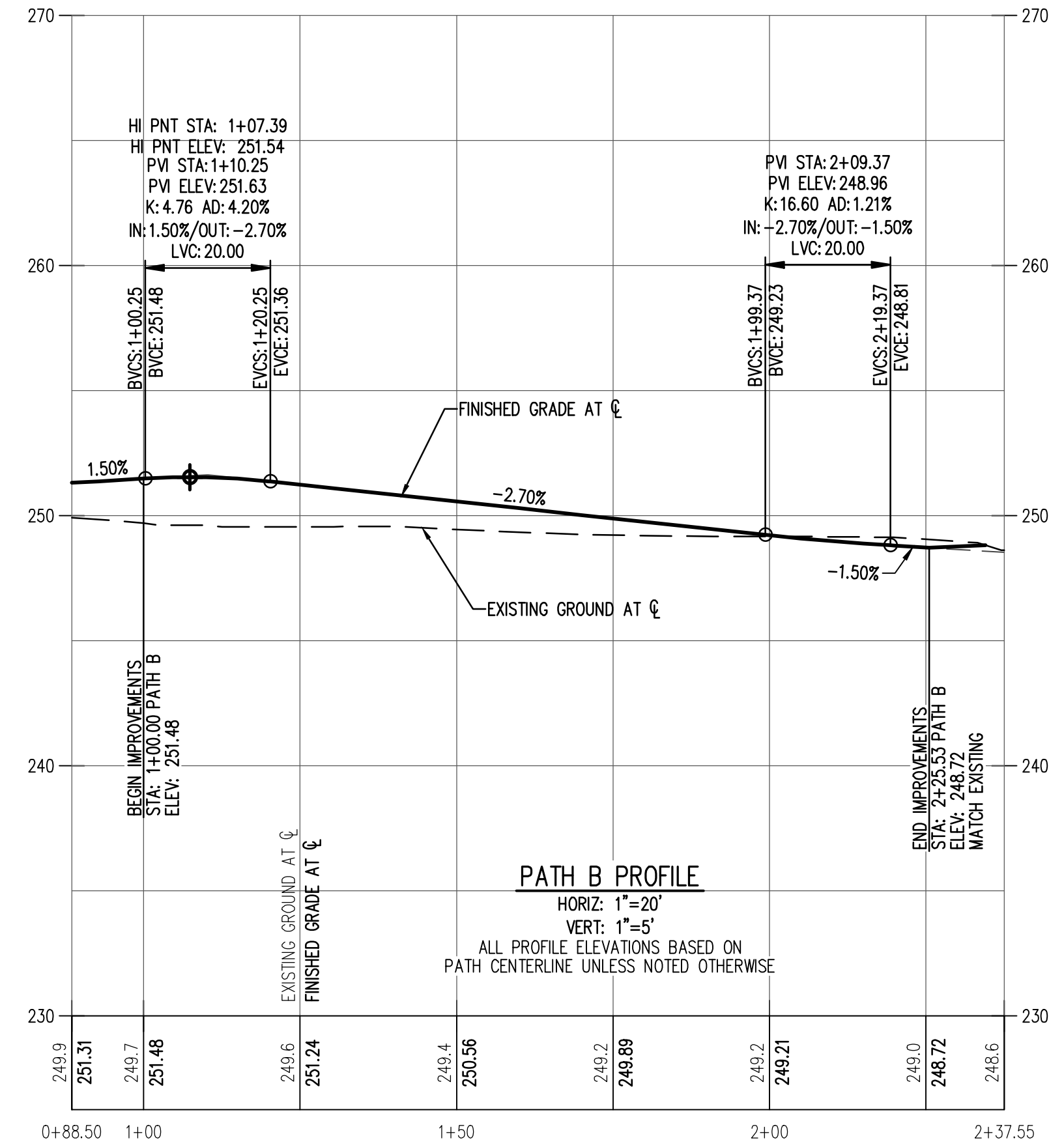
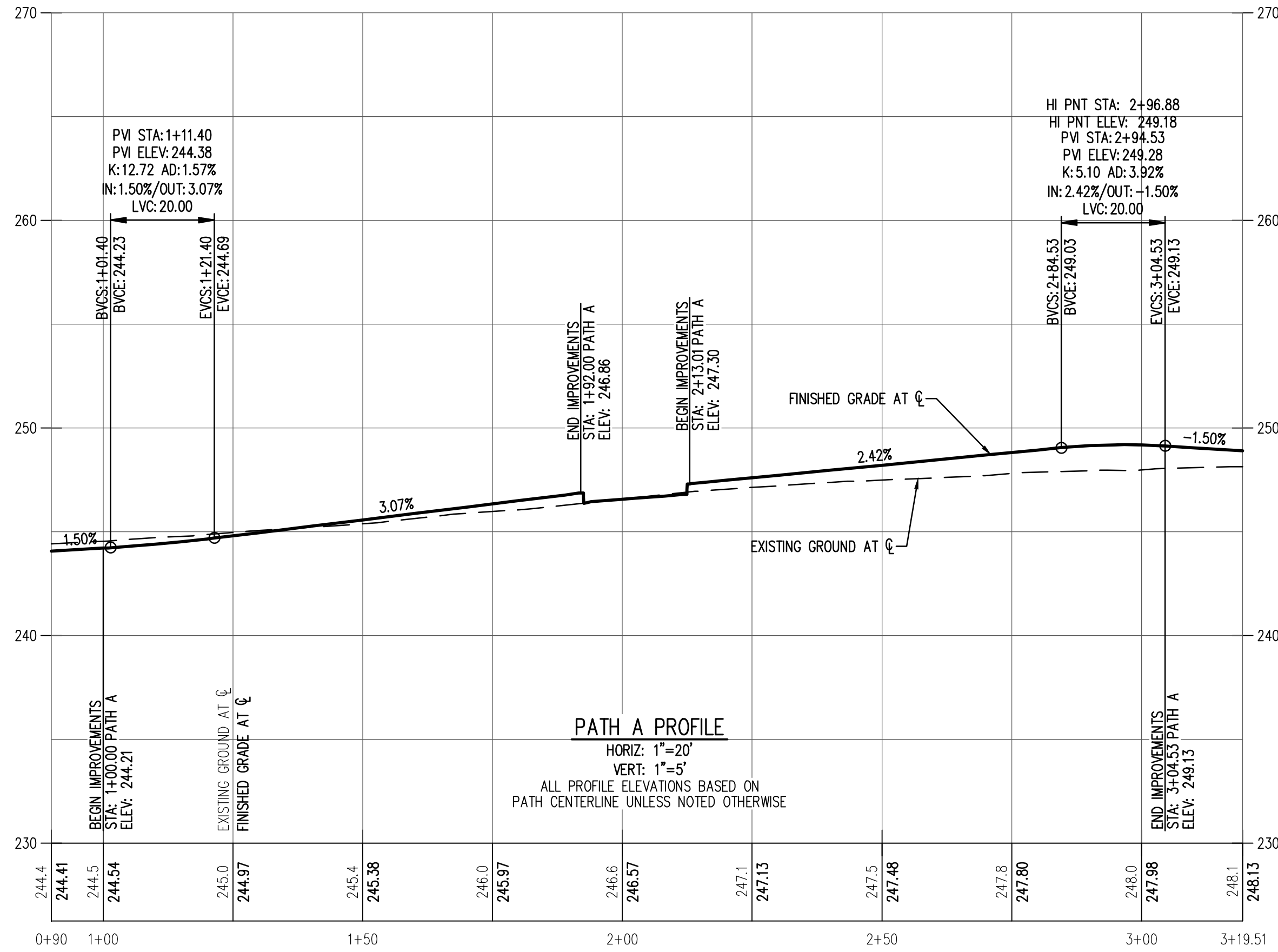
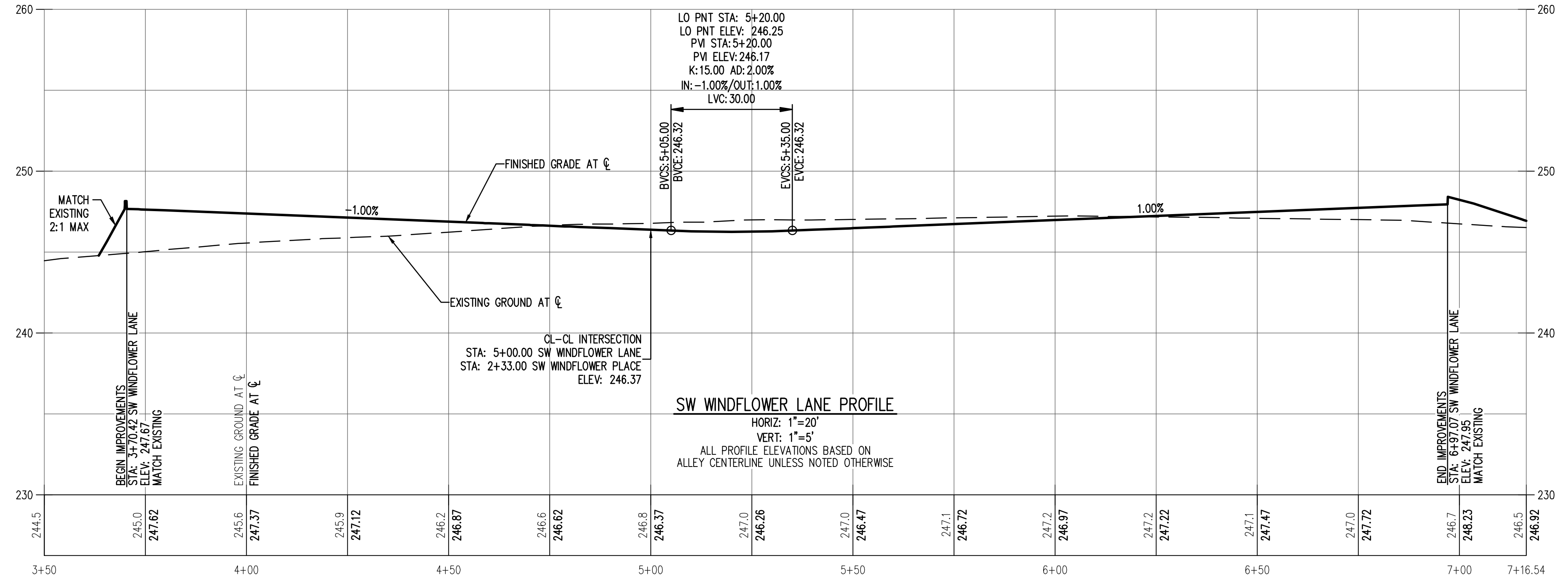
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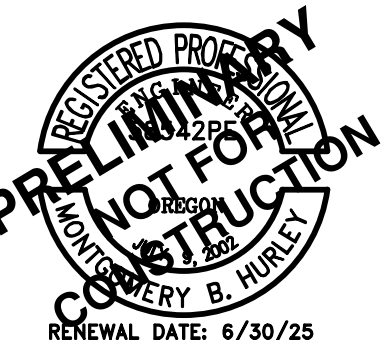
PRELIMINARY STREET PROFILES
PETRAS HOMES SUBDIVISION
PETRAS HOMES, LLC.
WILSONVILLE, OREGON



RENEWAL DATE:	6/30/25
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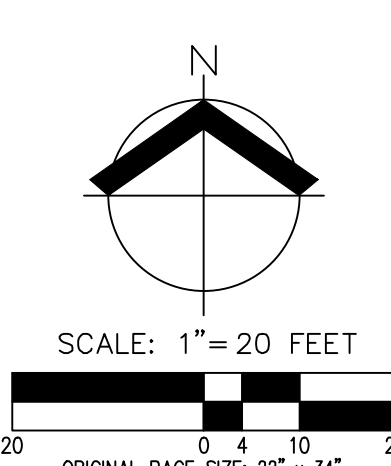
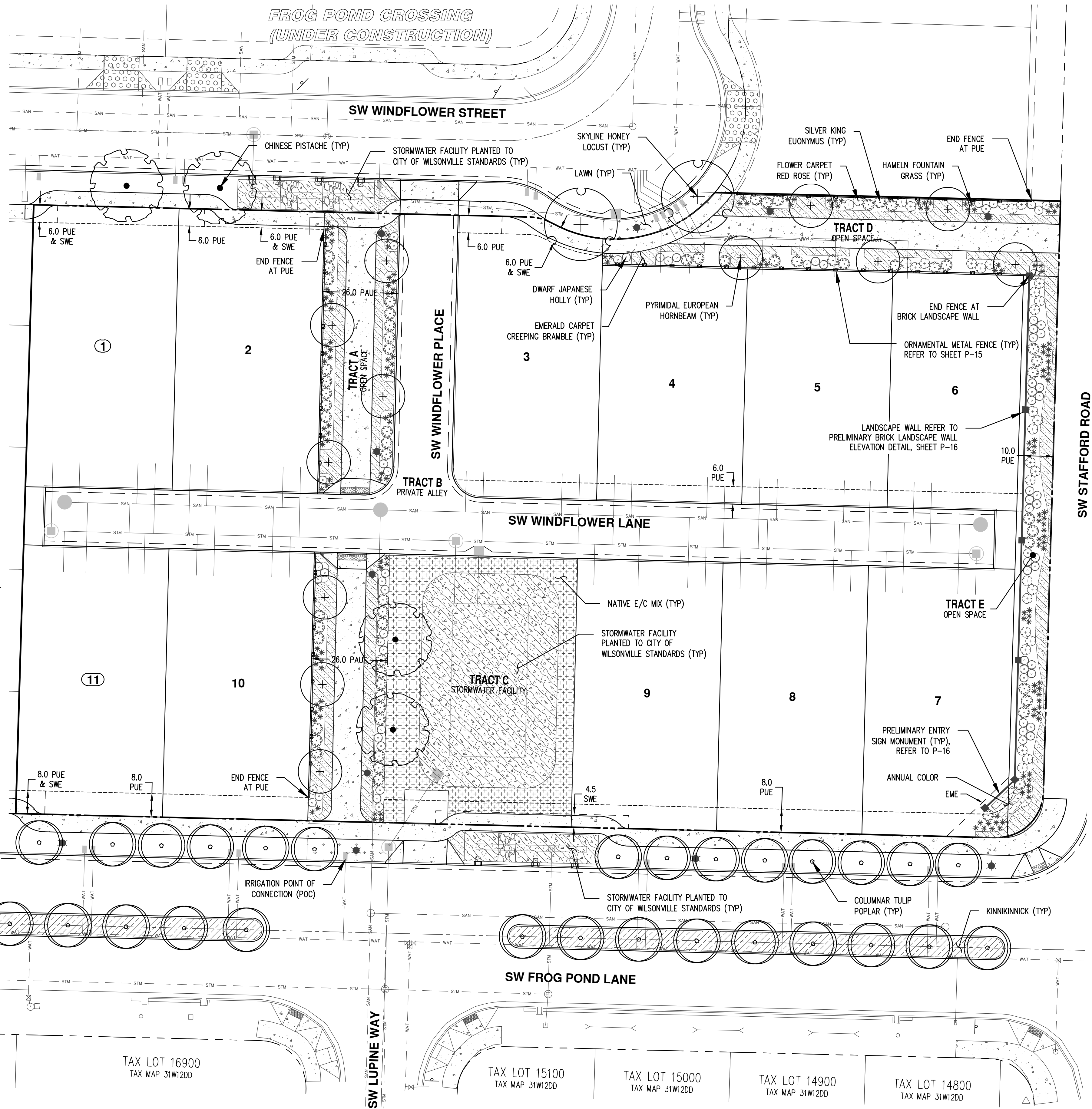


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PRELIMINARY PLANT SCHEDULE

STREET TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING	WATER USE
	12	CARPINUS BETULUS 'FASTIGIATA' (MODERATE WATER USAGE)	PYRAMIDAL EUROPEAN HORNBEAN	2" CAL. B&B	AS SHOWN	MODERATE
	2	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' TM	SKYLINE HONEY LOCUST	2" CAL. B&B	AS SHOWN	LOW
	31	LIRIODENDRON TULIPIFERA 'FASTIGIATA'	COLUMNAR TULIP POPLAR	2" CAL. B&B	AS SHOWN	MODERATE
	4	PISTACIA CHINENSIS	CHINESE PISTACHE	2" CAL. B&B	AS SHOWN	MODERATE
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING	WATER USE
	67	EUONYMUS JAPONICUS 'SILVER KING'	SILVER KING EUONYMUS	2 GAL. CONT.	48" o.c.	LOW
	87	ILEX CRENATA 'COMPACTA'	DWARF JAPANESE HOLLY	2 GAL. CONT.	36" o.c.	MODERATE
	180	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	1 GAL. CONT.	24" o.c.	MODERATE
	33	ROSA X 'NOARE' TM	FLOWER CARPET RED ROSE	2 GAL. CONT.	42" o.c.	MODERATE
GROUND COVERS	QTY	DESCRIPTION	WATER USE			
	390	ARCTOSTAPHYLOS UVA-URSI KINNIKINICK	4" POTS 30" o.c.	LOW		
	±471 SF	LAWN - NORTHWEST SUPREME LAWN MIX. SUNMARK SEEDS OR APPROVED EQUAL. COMPOSITION BY WEIGHT: CUTTER II PERENNIAL RYEGRASS (LOLIUM PERENNE VAR CUTTER II) 35%; DASHER III PERENNIAL RYEGRASS (LOLIUM PERENNE VAR DASHER III) 35%; GARNET CREEPING RED FESCUE (FESTUCA RUBRA) 15%; WINDWARD CHEWINGS FESCUE (FESTUCA RUBRA SPP. LONGIFOLIA) 15%.	HIGH			
	±2,249 SF	NATIVE E/C MIX (NATIVE/INTERIM WATER USAGE - PERMANENT IRRIGATION NOT PROPOSED) MEADOW BARLEY (HORDEUM BRACHYANTHERUM) 40%; CALIFORNIA BROME (BROMUS CARINATUS) 35%; NATIVE RED FESCUE (FESTUCA RUBRA RUBRA) 20%; TUFTED HAIRGRASS (DESCHAMPSIA CAESPITOSA) 3%; SPIKE BENTGRASS (AGROSTIS EXERATA) 2% APPLY AT A RATE OF 1 LB PER 1,000 SF OR AS RECOMMENDED BY SUPPLIER FOR FULL COVERAGE. OBTAIN FROM SUNMARK SEEDS OR OTHER APPROVED SUPPLIER.	NO WATER BEYOND ESTABLISHMENT			
	967	RUBUS CALYCINOIDES 'EMERALD CARPET' EMERALD CARPET CREEPING BRAMBLE	4" POTS 24" o.c.	MODERATE		
	±4,094 SF	STORMWATER FACILITY PLANTED TO CITY OF WILSONVILLE STANDARDS (INTERIM WATER USAGE - PERMANENT IRRIGATION NOT PROPOSED)				
	±78 SF	ANNUAL COLOR	4" POTS			

REFER TO SHEET P-15 FOR PRELIMINARY LANDSCAPE NOTES AND DETAILS AND SHEET P-16 FOR WALL DETAILS.



EASEMENT LEGEND

EME	ENTRY MONUMENT EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PAUE	PUBLIC ACCESS AND UTILITY EASEMENT
SWE	SIDEWALK EASEMENT

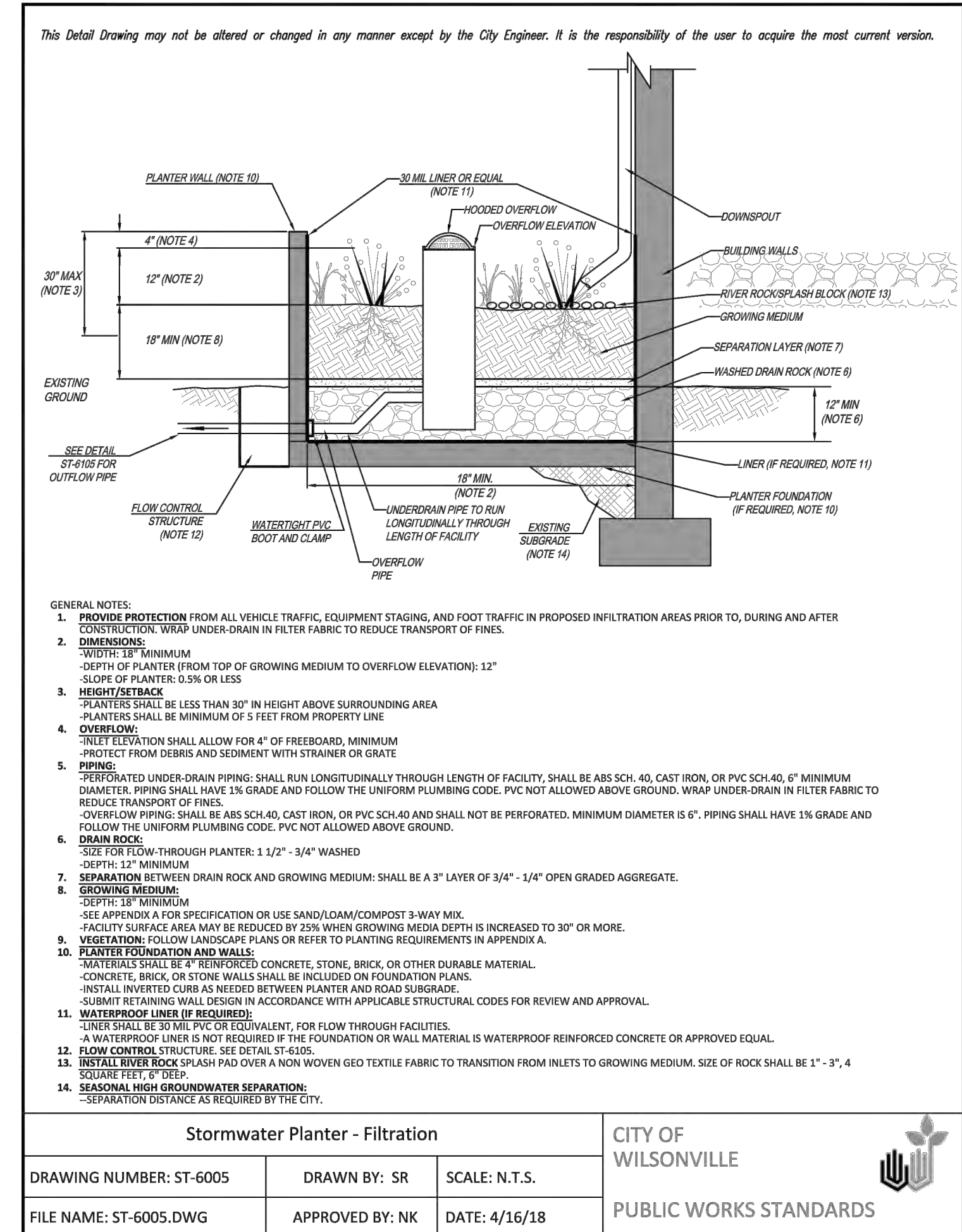
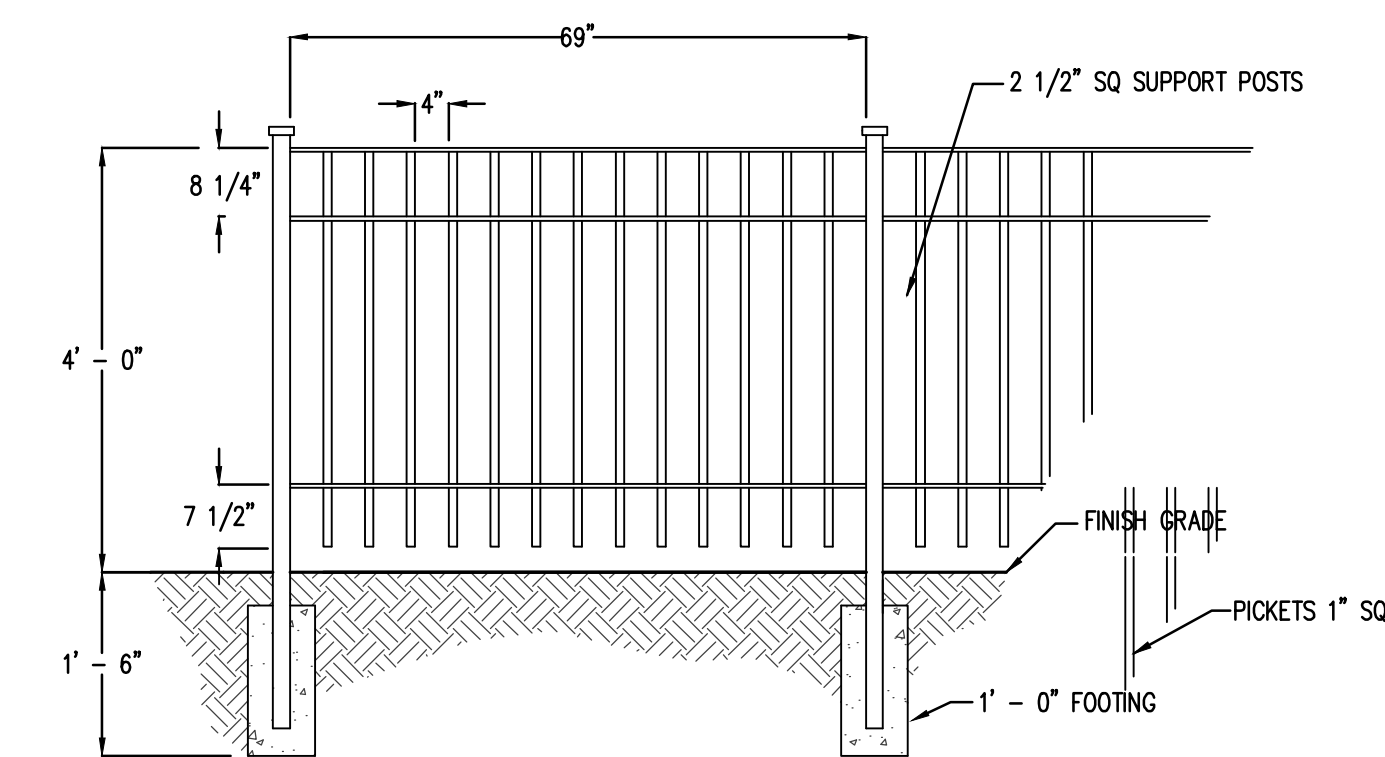
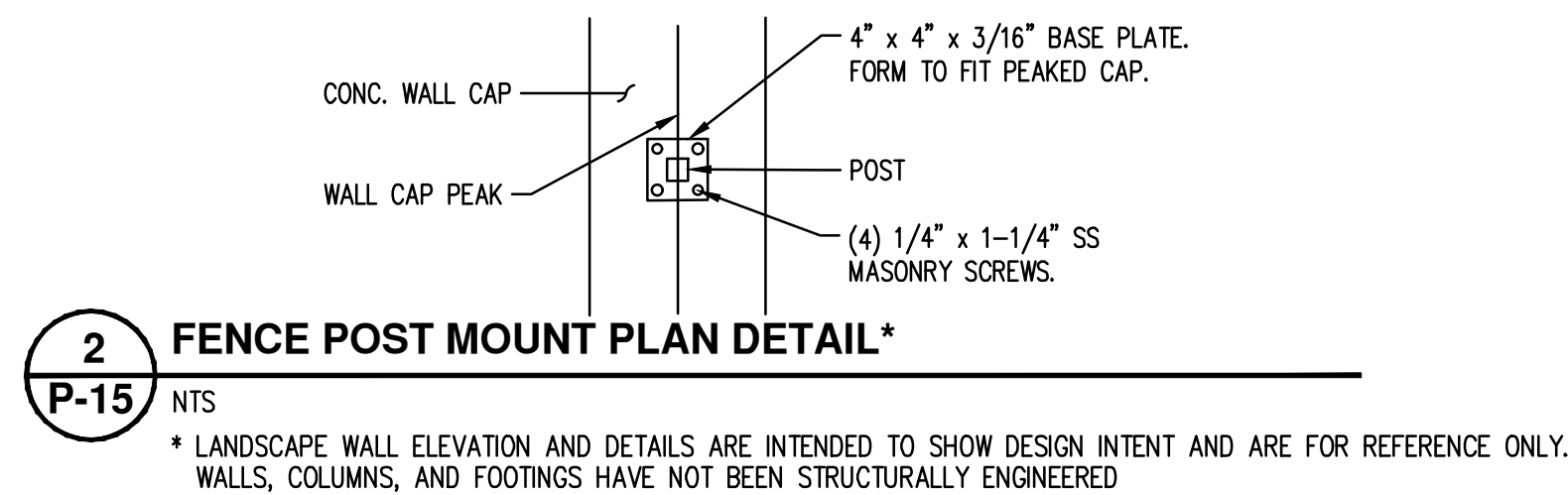
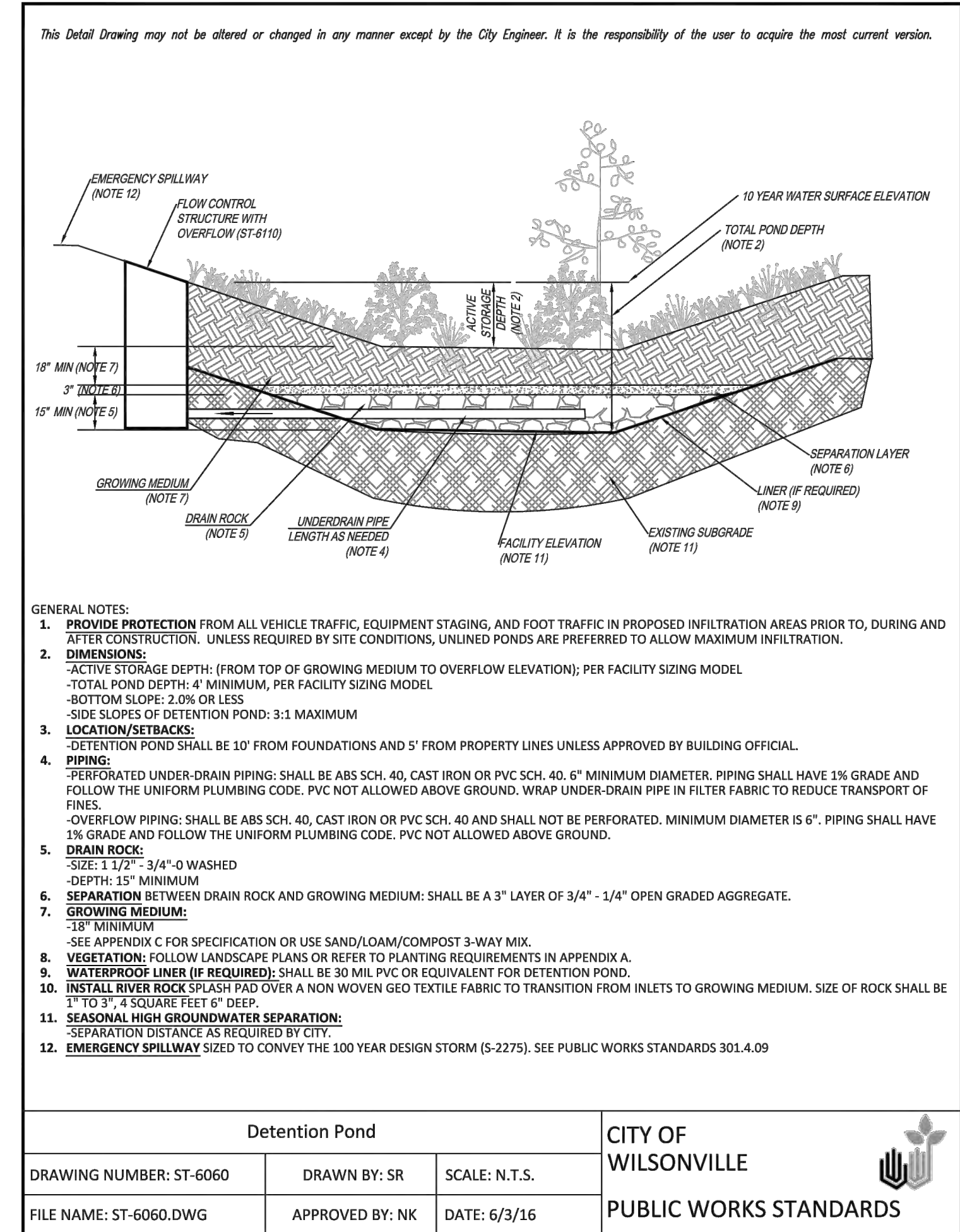
REGISTERED
 LANDSCAPE ARCHITECT
 PRELIMINARY
 NOT FOR CONSTRUCTION

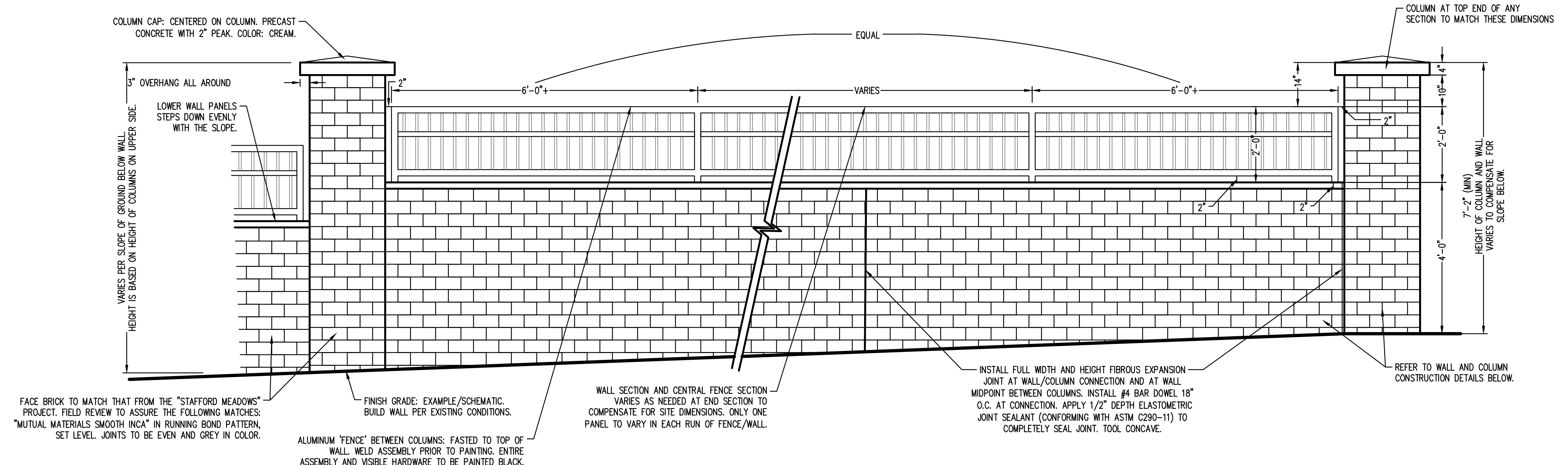
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CHECKED BY:	KAH

AKS DRAWING FILE: 9338 LANDSCAPE.DWG | LAYOUT: P-14

PRELIMINARY LANDSCAPE NOTES

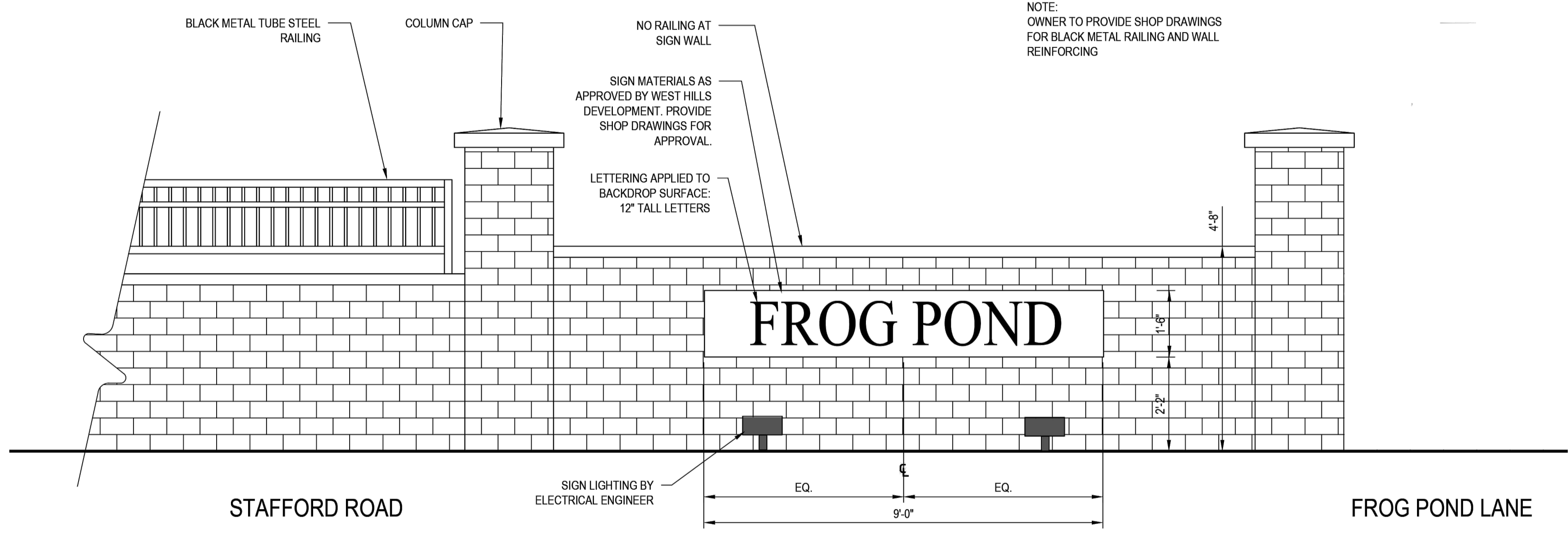
- PLANTS AND PLANTINGS ARE PRELIMINARY AND SHOWN TO PORTRAY THE CHARACTER OF THE SITE. PLAN REVISIONS INCLUDING CHANGES TO PLANT SPECIES, SIZES, SPACING, QUANTITIES, ETC., DUE TO PLANT AVAILABILITY, FINAL FIELD LOCATIONS OF DRIVEWAYS, UTILITIES, ETC., OR UNFORESEEN SITE CONDITIONS, MAY BE MADE PRIOR TO INSTALLATION WHERE ALLOWED BY THE CITY OF WILSONVILLE DESIGN STANDARDS.
- ALL PLANTS AND INSTALLATION SHALL CONFORM TO THE CITY OF WILSONVILLE LANDSCAPE DESIGN STANDARDS AND TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1, CURRENT EDITION, IN ALL WAYS. TREES AND OTHER LANDSCAPING PLANT MATERIAL SHALL BE WELL-BRANCHED AND TYPICAL FOR THE SPECIES, BEING FREE OF DAMAGE, DISEASE, OR PESTS.
- PLANT MATERIALS SHALL BE INSTALLED TO CURRENT BEST PRACTICE INDUSTRY STANDARDS, SUCH AS THOSE ADOPTED BY THE OREGON LANDSCAPE CONTRACTORS BOARD (OLCB).
- ALL TREES SHALL BE DOUBLE STAKED. SUPPORT DEVICES (GUY WIRES, ETC.) SHALL NOT INTERFERE WITH NORMAL PEDESTRIAN OR VEHICULAR MOVEMENT OR PLACED IN SUCH A WAY TO DAMAGE TREE BARK. CENTER TREE IN PLANTING STRIP BETWEEN CURB AND SIDEWALK WHERE APPLICABLE.
- LANDSCAPING WITHIN VISION CLEARANCE AREAS SHALL BE MAINTAINED TO THE STANDARDS OF SECTION 4.177. OF THE CITY OF WILSONVILLE'S DEVELOPMENT CODE.
- WATERING WILL BE PROVIDED FOR NEW PLANTING ESTABLISHMENT AND LONG TERM PLANT HEALTH. IRRIGATION SYSTEMS SHALL BE DESIGN-BUILD BY THE LANDSCAPE CONTRACTOR IN THE FOLLOWING AREAS, UNLESS OTHER WATERING METHODS ARE APPROVED BY THE CITY OF WILSONVILLE:
 - TRACTS A, D, AND E OPEN SPACE: PERMANENT, BELOW GROUND IRRIGATION SYSTEM
 - TRACT C STORMWATER FACILITY AND OPEN SPACE: TEMPORARY, ABOVE GROUND IRRIGATION SYSTEM OF NEW PLANTINGS UNTIL ESTABLISHMENT (2 YRS).
 - ALL STORMWATER PLANTERS WITHIN RIGHT OF WAY SHALL HAVE TEMPORARY, UNDERGROUND IRRIGATION SYSTEMS INSTALLED AND MAINTAINED. IRRIGATION SYSTEMS SHALL USE WATER EFFICIENT COMPONENTS TO THE GREATEST EXTENT PRACTICABLE AND INCLUDE ALL MATERIALS, COMPONENTS, CITY APPROVED BACKFLOW OR ANTI-SIPHON DEVICES, VALVES, ETC. NECESSARY FOR THE COMPLETE AND EFFICIENT COVERAGE OF LANDSCAPE AREAS SHOWN. IRRIGATION AREAS SHALL BE APPROPRIATELY ZONED BASED ON WATER NEEDS (HIGH WATER USAGE, MODERATE WATER USAGE, LOW WATER USAGE, AND INTERIM (TEMPORARY) IRRIGATION). WATERING RATES SHALL BE PROVIDED AT A RATE TO MAINTAIN ALL PLANTINGS IN A HEALTHY THRIVING CONDITION DURING ESTABLISHMENT. A MINIMUM OF 1 INCH PER WEEK, INCLUDING NATURAL RAINFALL TOTALS, IS RECOMMENDED DURING THE DRY MONTHS.
 - LAWN AREAS WITHIN RIGHT OF WAY ADJACENT TO TRACTS A, C, & D SHALL HAVE PERMANENT UNDERGROUND IRRIGATION.
 - IRRIGATION OF STREET TREES AND RIGHT OF WAY PLANTING ABUTTING INDIVIDUAL LOTS, WATERED, AND MAINTAINED BY THE ADJACENT LANDOWNER/HOMEBUILDING WITH LOT DEVELOPMENT.
- MULCH: APPLY 3" DEEP WELL-AGED DARK HEMLOCK, OR FIR, MEDIUM GRIND, UNDER AND AROUND ALL PLANTS IN PLANTING BEDS. WHERE TREES OR OTHER WOODY PLANT MATERIAL ARE PLANTED IN SEEDING AREAS, A MINIMUM 3" DIAMETER BARK MULCH SHALL BE USED AND CENTERED ON THE PLANT TRUNK FOR EASE OF MAINTENANCE AND SOIL MOISTURE RETENTION.
- CONTRACTOR TO LAY LAWN SEED MIX IN CURB RETURNS, AND FRONTAGE AREAS DENOTED ON PLANS. AREAS AROUND STORMWATER PLANTERS TO BE LAID WITH BARK MULCH AS NOTED. NO BARK MULCH ON SIDES OR WITHIN STORMWATER PLANTERS. ALL OTHER AREAS TO BE SEED BY HOMEBUILDER.



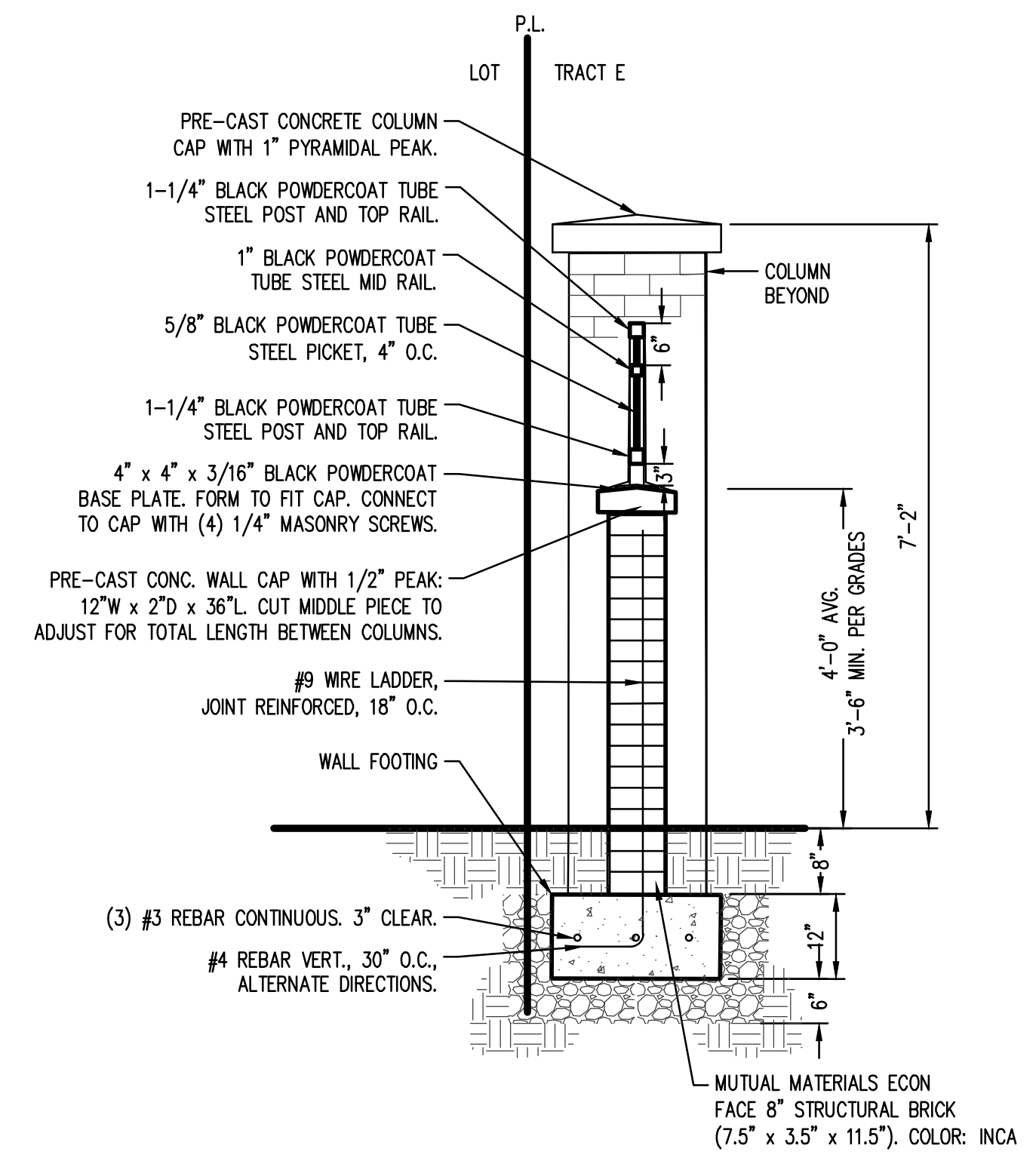


1 BRICK LANDSCAPE WALL ELEVATION DETAIL*
P-16 NTS

- NOTE:
- THIS WALL TO MATCH THE EXISTING WALL, IN REGARDS TO COLORS AND MATERIALS. FACE BRICK TO MATCH THAT FROM THE "STAFFORD MEADOWS" PROJECT. FIELD REVIEW TO ASSURE THE FOLLOWING MATCHES: FACE BRICK TO BE "MUTUAL MATERIALS SMOOTH INCA" IN RUNNING BOND PATTERN, SET LEVEL. JOINTS TO BE EVEN AND GREY COLOR. COLUMN CAP TO BE PRECAST CONCRETE WITH 2" PEAK, CREAM IN COLOR.
 - INSTALL FULL WIDTH AND HEIGHT FIBROUS EXPANSION JOINT AT WALL/COLUMN CONNECTION AND AT WALL MIDPOINT BETWEEN COLUMNS. INSTALL #4 BAR DOWEL 18" O.C. AT CONNECTION. APPLY 1/2" DEPTH ELASTOMETRIC JOINT SEALANT (CONFORMING WITH ASTM C290-11) TO COMPLETELY SEAL JOINT. TOOL CONCAVE.
 - ALUMINUM 'FENCE' BETWEEN COLUMNS: FASTED TO TOP OF WALL. WELD ASSEMBLY PRIOR TO PAINTING. ENTIRE ASSEMBLY AND VISIBLE HARDWARE TO BE PAINTED BLACK.
 - ALL TO BE PLUMB, ALIGNED, CENTERED, AND SQUARE.
 - 'FENCE', WALL CAP, AND BRICK TO BE LEVEL.
 - HEIGHT OF COLUMN AND WALL VARIES TO COMPENSATE FOR SLOPE BELOW. TO BE 7'-2" MINIMUM.
 - DETAILS IS FOR REFERENCE ONLY, COLUMNS AND FOOTINGS HAVE NOT BEEN STRUCTURALLY ENGINEERED.



2 PRELIMINARY NEIGHBORHOOD ENTRY SIGN AT SW FROG POND LANE
P-16 NTS



3 BRICK LANDSCAPE WALL SECTION DETAIL*
P-16 NTS